



THE BOARD OF TRUSTEES OF THE TOWN OF MESILLA WILL HOLD A REGULAR MEETING ON MONDAY, AUGUST 12, 2019 AT 6:00 P.M. IN THE BOARD ROOM OF THE MESILLA TOWNHALL, 2231 AVENIDA DE MESILLA.

- 1. PLEDGE OF ALLEGIANCE**
- 2. ROLL CALL & DETERMINATION OF A QUORUM**
- 3. CHANGES TO THE AGENDA & APPROVAL**
- 4. PUBLIC INPUT** – The public is invited to address the Board for up to 3 minutes.
- 5. CLOSED SESSION** – pursuant to NMSA 1978 Chapter 10-15-1(H)(7): meetings subject to the attorney-client privilege pertaining to threatened or pending litigation in which the public body is or may become a participant; *Alberg v. Town of Mesilla, EEOC# 39B-2019-00819. – Nora L. Barraza, Mayor.*
- 6. *APPROVAL OF CONSENT AGENDA** – (The Board will be asked to approve by one motion the following items of recurring or routine business. The Consent Agenda is marked with an asterisk *):
 - A. *BOT Minutes** – Minutes of a Regular Meeting & Work Session on July 22, 2019.
 - B. *PZHAC Case 060936** – 2461 Calle de Principal, submitted by Joseph W. Foster; a request for a zoning permit to construct a pergola over an outdoor commercial patio to shield customers from the sun at this address. **Zoned: Historical Commercial (HC).** *With a condition: a licensed contractor shall be required to pull the necessary permits from CID and be the one to construct the pergola.*
 - C. *PZHAC Case 060938** – 2424 Calle de Parian, submitted by Cecilia Quintana and Page Coleman; a request for a zoning permit to construct a wall on two sides of a residential property at this address. **Zoned: Historical Residential (HR).**
 - D. *PZHAC Case 060942** – 2290 Calle de Parian (Suite D), submitted by Felix Armijo; a request for a zoning permit to construct an addition to a restaurant structure (Café Don Felix) at this address. **Zoned: Historical Commercial (HC).**
- 7. APPEAL FROM A BOARD OF ADJUSTMENT DECISION:**
 - A. A Public Hearing must be held:** on Case V19-002; an appeal, by Susan Krueger, of the Board of Adjustment’s decision on an application submitted by Chris Schaefer for Paul Miller; a request for variance to chapter 18.65 (Signs) of the Mesilla Town Code to allow for an off premise directory sign on a commercial property at the SE corner of Calle de Alvarez and Avenida de Mesilla. **Zoned: General Commercial (C).**
 - B. For Approval/Disapproval:** an appeal, by Susan Krueger, of the Board of Adjustment’s decision on an application submitted by Chris Schaefer for Paul Miller; a request for variance to chapter 18.65 (Signs) of the Mesilla Town Code to allow for an off premise directory sign on a commercial property at the SE corner of Calle de Alvarez and Avenida de Mesilla. **Zoned: General Commercial (C).**

8. NEW BUSINESS:

- A. Resolution 2019-15:** A resolution declaring surplus property to be nonessential for government functions to be sold pursuant to NMSA. - *Cynthia Stoechner-Hernandez, Clerk-Treasurer.*
- B. For approval:** selection of 2019 New Mexico Municipal League Annual Conference Voting Delegates. – *Cynthia Stoechner-Hernandez, Clerk-Treasurer.*

9. *STAFF REPORTS:

- Community Development
- Community Programs
- Finance Department
- Fire Department
- Marshal’s Department
- Public Works Department

10. BOARD OF TRUSTEE COMMITTEE REPORTS

11. BOARD OF TRUSTEE/STAFF COMMENTS

12. ADJOURNMENT

NOTICE:

If you need an accommodation for a disability to enable you to fully participate in the hearing or meeting, please contact us at 524-3262 at least one week prior to the meeting. The Mayor and Trustees request that all cell phones be turned off or set to vibrate. Members of the audience are requested to step outside the Board Room to respond to or to conduct a phone conversation. A copy of the agenda packet can be found online at www.mesillanm.gov.

Posted 8/8/19 at the following locations: Town Clerk’s Office 2231 Avenida de Mesilla, Public Safety Building 2670 Calle de Parian, Mesilla Community Center 2251 Calle de Santiago, Shorty’s Food Mart 2290 Avenida de Mesilla, Ristramn Chile Co., 2531 Avenida de Mesilla and the U.S. Post Office 2253 Calle de Parian.



**BOARD OF TRUSTEES
TOWN OF MESILLA
WORK SESSION
MONDAY, JULY 22, 2019
5:30 P.M.**

TRUSTEES: Nora L. Barraza, Mayor
Stephanie Johnson-Burick, Mayor Pro Tem (ABSENT)
Carlos Arzabal, Trustee
Jesus Caro, Trustee
Veronica Garcia, Trustee (ABSENT)

STAFF: Cynthia Stoechner-Hernandez, Town Clerk/Treasurer
Kevin Hoban, Fire Chief
Lance Shepan, Sergeant
Gloria Maya, Recorder

PUBLIC:

A. Discussion on 2019-2020 Budget & Fiscal Year End Report for the Town of Mesilla – **Cynthia Stoechner-Hernandez, Clerk-Treasurer.**

Mayor Barraza opened worksession at 5:30 p.m.

Ms. Stoechner-Hernandez gave a presentation of the 2019-2020 Budget & Fiscal Year End Report for the Town of Mesilla.

Trustee Arzabal asked if Public Works was the only department that went over budget.

Mayor Barraza responded yes which was due to the unforeseen emergencies.

Ms. Stoechner-Hernandez stated the Mayor knew that was going to happen, so she budgeted accordingly.

Mayor Barraza stated that during the budget process revenue and expenditures were looked at carefully.

Trustee Caro stated everyone has done an outstanding job. He believes the Marshal's Department budget is too high and needs to be cut.

Trustee Arzabal responded he does not believe it is fair that that department always gets a raise due to collective bargaining. He feels at some point unions for everyone needs to be looked at.

1 Mayor Barraza stated we are currently in negotiations and they will be coming for an additional increase.
2 That increase will need to come out of the operational budget for the department. The town does not have
3 money. She understands the officers put their lives on the line but feels all employees are important in the
4 town's everyday operation.

5
6 Trustee Arzabal stated if there is no money, then there is no bargaining.
7

8 Mayor Barraza stated the deputies received a 1% increase. The increase to their budget is due to the
9 PERA and Health increases. We may want to look at the insurance percentages that the town currently
10 pays for the employees. Operational expenses have not increased significantly. The budget was
11 submitted and has been approved by DFA.
12

13 Trustee Caro stated he is glad to hear that pay increases in the Marshal's Department are covered by their
14 own budget. He agrees it is not fair to the other employees.
15

16 Mayor Barraza stated we cannot dip into the General Fund Reserve for continuous expenditures; the state
17 will not allow that. We are in crisis mode in terms of deputy vehicles. There are 3 or 4 operating
18 vehicles. We just spent \$10K in vehicle repairs. She reached out to Governor Lujan-Grisham. Today the
19 governor's office contacted her that the State Police has donated 2 vehicles. Ms. Stoechner-Hernandez is
20 looking at refinancing the loan that is paid through the Law Enforcement Fund and asking for Capital
21 Outlay funding.
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23 Mayor Barraza closed worksession at 5:50 p.m.
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1 **BOARD OF TRUSTEES**
2 **TOWN OF MESILLA**
3 **REGULAR MEETING**
4 **MONDAY, JULY 22, 2019**
5 **6:00 P.M.**
6

7 **TRUSTEES:** Nora L. Barraza, Mayor
8 Stephanie Johnson-Burick, Mayor Pro Tem (ABSENT)
9 Carlos Arzabal, Trustee
10 Jesus Caro, Trustee
11 Veronica Garcia, Trustee
12

13 **STAFF:** Cynthia Stoehner-Hernandez, Town Clerk/Treasurer
14 Kevin Hoban, Fire Chief
15 Lance Shepan, Sergeant
16 Gloria Maya, Recorder
17

18 **PUBLIC:** Susan Krueger
19
20

21 **1. PLEDGE OF ALLEGIANCE**

22 Mayor Barraza led the Pledge of Allegiance.
23

24 **2. ROLL CALL & DETERMINATION OF A QUORUM**

25 **Roll Call.**

26 **Present:** Mayor Barraza, Trustee Arzabal, Trustee Caro, Trustee Garcia.
27

28 **3. CHANGES TO THE AGENDA & APPROVAL**

29 **Motion:** To approve agenda, **Moved by Trustee Arzabal, Seconded by Trustee Garcia.**
30

31 **Roll Call Vote:** Motion passed (summary: Yes =3).

32 Trustee Arzabal Yes

33 Trustee Caro Yes

34 Trustee Garcia Yes
35

36 **4. PUBLIC INPUT** – The public is invited to address the Board for up to 3 minutes.

37 No public input
38

39 **5. *APPROVAL OF CONSENT AGENDA** – The Board will be asked to approve by one
40 **motion the following items of recurring or routine business. The Consent Agenda is**
41 **marked with an asterisk *:**

42 Trustee Arzabal requested placing under New Business items b & c on the consent agenda.
43

1 **Motion:** To approve consent agenda as amended, **Moved by Trustee Arzabal, Seconded by Trustee**
2 **Caro.**

3
4 **Roll Call Vote:** Motion passed (**summary:** Yes =3).

5 Trustee Arzabal Yes

6 Trustee Caro Yes

7 Trustee Garcia Yes

8
9 **A. *BOT Minutes** – Minutes of a Regular Meeting on July 8, 2019. *Approved by consent*
10 *agenda*

11 **B. *PZHAC Case 060932** – 2225 Calle de Colon, submitted by Rosalia Martinez; a request
12 for a zoning permit to update windows and repaint a dwelling at this address. **Zoned:**
13 **Historical Residential (HR).** *Approved by consent agenda*

14 **C. *APPROVAL** of annual memberships and listing of agreements/contracts. *Approved by*
15 *consent agenda*

16
17 **6. OLD BUSINESS:**

18 **A. BOT Minutes** – Minutes of a Regular Meeting on June 24, 2019.

19 **Motion:** To approve minutes of a Regular Meeting on June 24, 2019, **Moved by Trustee Arzabal,**
20 **Seconded by Trustee Garcia.**

21
22 **Roll Call Vote:** Motion passed (**summary:** Yes =3).

23 Trustee Arzabal Yes

24 Trustee Caro Yes

25 Trustee Garcia Yes

26
27 **7. NEW BUSINESS:**

28 **A. Resolution 2019-12:** A resolution by the Board of Trustees allowing for budget
29 adjustments. – *Cynthia Stoechner-Hernandez, Clerk-Treasurer.*

30 Ms. Stoechner-Hernandez reviewed the adjustments.

31
32 **Motion:** To approve a resolution by the Board of Trustees allowing for budget adjustments, **Moved by**
33 **Trustee Arzabal, Seconded by Trustee Caro.**

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35 **Roll Call Vote:** Motion passed (**summary:** Yes =3).

36 Trustee Arzabal Yes

37 Trustee Caro Yes

38 Trustee Garcia Yes

39
40 **B. Resolution 2019-13:** A resolution adopting the 2018-2019 Fiscal Year End Financial
41 Report for the Town of Mesilla. – *Cynthia Stoechner-Hernandez, Clerk-Treasurer.*
42 *Approved by consent agenda*

43 **C. Resolution 2019-14:** A resolution adopting the 2019-2020 Fiscal Year Revenue and
44 Expenditures Budget for the Town of Mesilla. – *Cynthia Stoechner-Hernandez, Clerk-*
45 *Treasurer. Approved by consent agenda*

1 **8. BOARD OF TRUSTEE COMMITTEE REPORTS**

2 Trustee Arzabal stated the next CFO meeting will be September or October.

3 Mayor Barraza stated she attended the July 10th MPO Special Meeting; adjustments and personnel matters
4 (closed session) were discussed. Attended NMML Resolution Meeting on Saturday; Courtyard Marriott
5 Grand Opening; RTD meeting on Wednesday.

6
7 **9. BOARD OF TRUSTEE/STAFF COMMENTS**

8 Trustee Garcia stated the Summer Music Series has been well attended.

9
10 Trustee Arzabal reiterated we need to be careful regarding pay increases. Thanked the Mayor, Ms.
11 Stoechner-Hernandez and staff for all they do regarding the budget.

12
13 Trustee Caro stated he has expressed his concerns regarding the car policy in the past and he still has the
14 same concerns.

15
16 Mayor Barraza stated Friday will be last the Summer Music Series; last Friday was the last day for
17 Summer Recreation, Bustamante Farms donated the water slide. Ms. Garza and her staff did a fabulous
18 job. Ms. Sellers is introducing herself to the merchants; working on the fiesta. Next BOT meeting will
19 be August 12th. We are in crisis mode regarding vehicles in the Marshal’s Department. The State Police
20 will be donating two vehicles. Ms. Stoechner-Hernandez will be looking at refinancing the current loan in
21 order to purchase two more vehicles. Also going to our legislators through the ICIP process for
22 additional vehicles.

23 **10. ADJOURNMENT**

The Town of Mesilla Trustees unanimously agreed to adjourn the meeting. (Summary: Yes-)

MEETING ADJOURNED AT 6:11 P.M.

APPROVED THIS 12TH DAY OF AUGUST, 2019.

Nora L. Barraza
Mayor

ATTEST:

Cynthia Stoechner-Hernandez
Town Clerk/Treasurer

BOT ACTION FORM
ZONING PERMIT 060936
[PZHAC REVIEW – 8/5/19]
STAFF ANALYSIS

Decision was based on information provided during the Work Session

Case 060936 – 2461 Calle de Principal, submitted by Joseph W. Foster; a request for a zoning permit to construct a pergola over an outdoor commercial patio to shield customers from the sun at this address. Zoned: Historical Commercial (HC)

Staff Analysis:

The proposed work was discussed in the PZHAC Work Session held prior to this meeting. (Please refer to the information provided in the write-up for this item in the Work Session.)

If it is determined that the proposed pergola will be acceptable for the zoning of the property, or if an alternate solution is arrived at, then the request can proceed on the assumption that all requirements of the Code will be satisfied. The PZHAC should continue on to approve the request based on the Findings stated below.

If, on the other hand, it is determined that the proposed pergola shed will not be acceptable to the zoning of the property, and no other solution can be reached, then the PZHAC should either postpone the request further until the applicant can return with a proposal that meets the standards set forth by the PZHAC; or the PZHAC should deny the request based on the request not meeting any or all of the Findings as listed.

Estimated Cost: @ \$5,000.00

Consistency with the Code:

The PZHAC will need to determine that the proposed pergola will be consistent with the zoning requirements for this property. Additionally, the PZHAC will also need to determine that the request, as submitted, is consistent with the all other sections of the **Building and Zoning Codes** that may be applied to this project.

Findings:

- The PZHAC has jurisdiction to review and approve this request.
- The proposed work consists of installing a pergola over an outdoor commercial patio on a commercial property at this address.
- The PZHAC has determined that the proposed pergola meets all applicable Code requirements.

PZHAC ACTION:

The PZHAC determined that the proposed pergola would not be out of character with the historic nature of the other structures nearby and voted 3 – 0 to recommend APPROVAL of this request to the BOT with the following condition:

A licensed contractor shall be required to pull the necessary permits from CID and construct the pergola.

BOT OPTIONS:

1. Approve the application as recommended by the PZHAC.
2. Approve the application with conditions.
3. Reject the application.

BOT ACTION:

PZHAC WORK SESSION
AUGUST 5, 2019
ITEM 1

Submitted by Joseph W. Foster; a request to discuss plans to construct a pergola over an outdoor commercial patio to shield customers from the sun at 2461 Calle de Principal. (Case 060936) Zoned: Historical Commercial

DESCRIPTION OF REQUEST:

The subject property contains an adobe structure that dates back to the 1850's. Arthur Fountain became the owner of the structure around 1900, and the structure has been in the Fountain family since then. The southern third of the structure was owned by Artie Fountain until recently, at which time the applicant purchased the property. Aside from the addition of a concrete block residence at the southern end of the structure in the 1950's, as well as some minor repairs, the structure itself has not been much in the past 50 – 60 years.

The applicant would like to restore some of the historic feel to the exterior of the structure that he feels has been gradually lost over time as a result of inadequate repairs and neglect. In addition to repairs to the interior of the structure, including electrical upgrades, he is in the process of renewing the original historic character of the open areas on the east side of the structure. Renovations will incorporate and reinforce the concept of this block being historically the "Transportation Block" of Mesilla, according to the Historical Register. This will include the replacement of non-historic concrete block walls; widening doorways, repairing windows, and replacing doors and gates with more historically appropriate doors and gates; the repair and upgrading of the parking area and drainage features; and generally landscaping the area to improve its appeal and historic character.

The applicant has recently submitted several zoning permits for the proposed work. These were approved by the PZHAC in July of this year. This request is in addition to those that had been approved. Photos and diagrams of the structure are attached to illustrate what will be done. Excerpts from the Historical Register are also included for reference. This request is to allow a pergola to be constructed over the exterior area currently used as a serving area by "Vintage Wines". This area will be enlarged and will be covered by the pergola in order to protect patrons from the sun. The pergola will be constructed in the same style as the existing structure and will be finished to match the color and character of the existing structure.

CONSISTENCY WITH THE CODE:

The PZHAC will need to determine that the proposed work will not result in any changes to the structure that will affect its Historical character, and that the work will be consistent with the following sections of the Code:

Chapter 18.33 – Historic Preservation

18.33.040 Declaration of purpose and statement of public policy.

A. The board of trustees declares that the historical heritage of Mesilla and its historic buildings and its historic districts are among its most valued and important assets. The board finds that some buildings having historical, architectural, aesthetic and cultural value have been neglected, altered or destroyed notwithstanding the feasibility of preserving and continuing the use of such buildings and without adequate consideration of the irreplaceable loss to the public and the town. The board finds that the historic character of Mesilla is of vital importance in maintaining the economy of the town and that its historic landmarks and the buildings in its historic district can be preserved, rehabilitated and used. The board finds that this chapter benefits all the residents of Mesilla and all the owners of property.

B. The board of trustees declares as a matter of public policy that the preservation, protection and use of historic landmarks and buildings in the historic districts are a public necessity because they have a special character or a special historic, architectural, aesthetic or cultural value and thus serve as visible reminders of the history and heritage of this town, state and nation. The board declares as a matter of public policy that this chapter is required in the interest of the health, safety, welfare and economic well-being of the public. The board declares as a matter of public policy that the identification and designation of historic landmarks and historic districts and the approval or disapproval of exterior changes to designated property or their demolition or relocation or new construction on the site are stated to be a public purpose. [Ord. 2011-03]

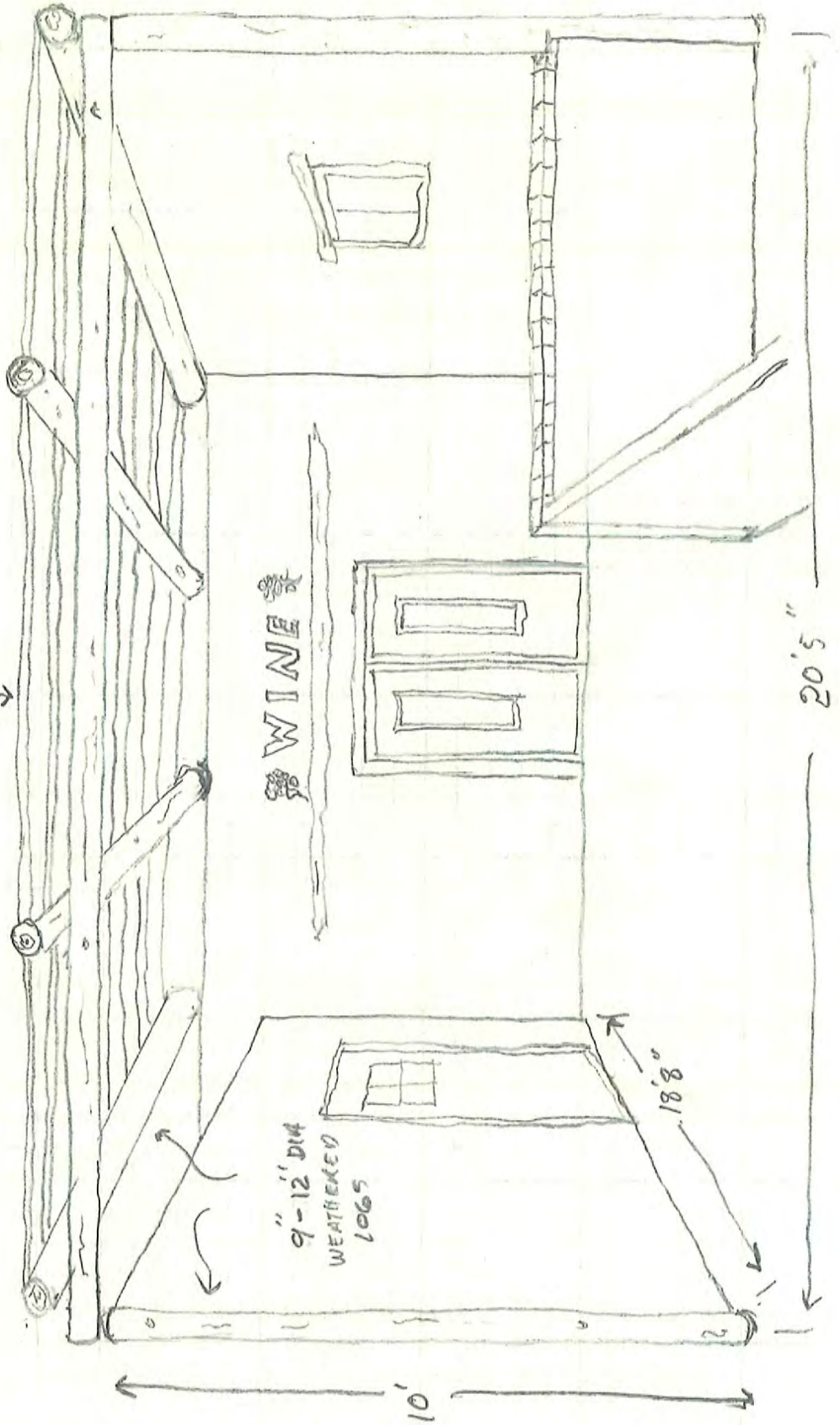
Since the proposed work will not change the use or style of the structure, and since the work will need to address the guidelines set forth by the Secretary of the Interior for Historic structures as well as the requirements of Section 18.33 – Historic Preservation of the Code, the PZHAC will need to determine that the proposed work will meet these requirements. Also, the proposed work will need to meet the requirements of the Building code where applicable.

The applicant will be present at the work session to provide further details about the proposed renovations and will be available to answer any questions that may arise.

**PHOTO OF THE SUBJECT PROPERTY FROM CALLE DE GUADALUPE
SHOWING THE AREA TO BE COVERED**



LATHS



WINE

9"-12" DIA
WEATHERED
LOGS

18'8"

20'5"

10'

**TOWN OF MESILLA
ZONING APPROVAL**
PERMISSION TO CONDUCT WORK
OR
OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT

OFFICIAL USE ONLY:
Case # 060936
Fee \$ 17.00

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 060936 ZONE: HC CODE: AD APPLICATION DATE: 7/16/19

JOSEPH W. FOSTER 850-502-9237

Name of Applicant/Owner 10090 BLACK HILLS RD. LAS CRUCES NM 88011
Applicant's Telephone Number

Applicant's/Owner's Mailing Address FOSTER, JOSEPH. W @ GMAIL.COM
City State Zip Code

Applicant's/Owner's E-mail Address
- SELF -

Contractor's Name & Address (If none, indicate Self)

Contractor's Telephone Number Contractor's Tax ID Number Contractor's License Number

Address of Proposed Work: 2461 CALLE DE PRINCIPAL

Description of Proposed Work: ADD PERGOLA TO CURRENT OUTDOOR PATIO TO SHIELD CUSTOMERS FROM DIRECT SUN. WILL BE CONSTRUCTED OF WEATHERED LOGS AND LATILLAS

\$ 5000 [Signature] 11 JULY 19
Estimated Cost Signature of Applicant Date

Signature of property owner if applicant is not the property owner: _____

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and BOT before issuance of a building permit. Recorded proof of ownership with legal description of property (deed or current tax bill) along with verification of legally subdivided status of the property are required. Plan sheets are to be no larger than 11 x 17 inches.

FOR OFFICIAL USE ONLY

PZHAC Administrative Approval Approved Date: _____
 Approved Date: _____ Disapproved Date: _____
 Disapproved Date: _____ Approved with Conditions
 Approved with conditions

FIRE INSPECTION/APPROVAL REQUIRED: ___ YES NO ___ SEE CONDITIONS

CID PERMIT/INSPECTION REQUIRED: YES ___ NO ___ SEE CONDITIONS

CONDITIONS: PZHAC REVIEW & BOT APPROVAL REQUIRED
CID PERMIT REQ'D
[Signature]

PERMISSION ISSUED/DENIED BY: _____ **ISSUE DATE:** _____

- This Application will include the following, if checked:
1. ___ Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was legally subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
 2. ___ Site Plan with dimensions and details.
 3. ___ Proof of legal access to the property.
 4. ___ Drainage plan.
 5. ___ Architectural style and color scheme – diagrams or elevations (Historical and commercial zones only).
 6. ___ Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
 7. ___ Other information as necessary or required by the City Code or Community Development:

BOT ACTION FORM
ZONING PERMIT 060938
[PZHAC REVIEW – 8/5/19]
STAFF ANALYSIS

(Decision was based on information provided during the Work Session)

Case 060938 – 2424 Calle de Parian, submitted by Cecilia Quintana and Page Coleman; a request for a zoning permit to construct a wall on two sides of a residential property at this address. Zoned: Historical Residential (HR)

Staff Analysis:

The proposed work was discussed in the PZHAC Work Session held prior to this meeting. (Please refer to the information provided in the write-up for this item in the Work Session.)

If it is determined that the proposed rock wall is acceptable to the Town as proposed, or if an alternate solution is arrived at, then the request can proceed on the assumption that all requirements of the Code will be satisfied. The PZHAC should continue on to approve the request based on the Findings stated below.

If, on the other hand, it is determined that the proposed rock wall is not be acceptable to the Town, and no other solution can be reached, then the PZHAC should either postpone the request further until the applicant can return with a proposal that meets the standards set forth by the PZHAC; or the PZHAC should deny the request based on the request not meeting any or all of the Findings as listed.

Estimated Cost: @ \$20,000.00

Consistency with the Code:

The PZHAC will need to determine that the proposed rock wall will be consistent with the requirements of the HR zoning district. Additionally, the PZHAC will need to determine that the request meets all other development and application requirements of the Code.

The PZHAC will also need to determine that the request, as submitted, is consistent with the all other sections of the **Building and Zoning Codes** that may be applied to this project.

Findings:

- The PZHAC has jurisdiction to review and approve this request.
- The proposed work consists of constructing a rock wall around two sides of a residential property at this address.
- The PZHAC has determined that the proposed rock wall meets all applicable Code requirements.

PZHAC ACTION:

The PZHAC determined that the proposed wall would not be out of character with the historic nature of the other structures nearby and voted 3 – 0 to recommend APPROVAL of this request to the BOT.

BOT OPTIONS:

1. Approve the application as recommended by the PZHAC.
2. Approve the application with conditions.
3. Reject the application.

BOT ACTION:

**PZHAC WORK SESSION
AUGUST 5, 2019
ITEM 2**

Submitted by Cecilia Quintana and Page Coleman; a request to discuss plans to construct a rock wall around two sides of a residential property at 2424 Calle de Parian. (Case 060938) Zoned: Historical Residential (HR)

DESCRIPTION OF REQUEST:

The property currently contains the applicant's dwelling and a rental dwelling, as well as a stuccoed tool shed. At this time there is a wood and wire fence along the southwest property line, and a low rock wall along the street. The remaining two side of the property do not have walls or fences. The proposed rock wall will be along these two property lines.

The proposed wall will consist of a six-foot high rock wall along the rear property line (about 140 feet long) and a 131-foot long rock wall along the northeast property line. Part of this wall (about 70 feet) will be six feet in height. The remainder (61 feet) will be three feet in height (see attached diagram and site plan). The wall will be built on the two property lines and will require a right-of-entry permit from the adjacent property owners.

There will be no changes to any of the structures on the property, or to the property itself. Generally, many of the properties in the area contain similar rock walls. The rocks used in the wall will consist of rocks of different natural colors. According to the applicant, the style and color of the wall will not be out of character with other walls in the area.

The PZHAC will need to determine that the proposed wall will be compatible with the development of other properties in the area and for the zoning of the property.

CONSISTENCY WITH THE CODE:

The PZHAC will need to determine that the proposed wall will be compatible with the historical aspect of the surrounding area, and will be consistent with the following section of the Code:

18.35.010 Purpose.

The purpose of this zone is to provide for the protection of those residential sections of the town that are worth preserving because of historical, cultural and aesthetic or architectural interest. All remodeling or new structures must be compatible with established architectural styles and design elements as outlined in the town's "Guidelines and Criteria for Preservation and Development" manual and approved by the commission and board of trustees. [Ord. 94-06 § 1; prior code § 11-2-11.4.A]

The applicant will be present at the work session to provide further details about the proposed construction of and will be available to answer any questions that may arise.

Doña Ana County, NM
General Reference Maps

2014 Aerial | Addresses | County Address Points

Select Search Type: Account Number Enter Value:

Maps Legend

Map Themes
Parcels
UDC Zoning
Roads and Transportation
NM House Districts
NM Senate Districts
County Commission Districts
City Council Districts
Median Household Income
General Land Ownership

Account Number: [R0400480](#)
Parcel Number: 4006138147015
Owner: COLEMAN PAGE
Mail Address: 430 WASHINGTON ST NE
Subdivision: CARREON TRACTS (BK 18 PG 89 - 9413667)
Property Address: 2424 CALLE DE PARIAN
Acres: 0



**NORTHEAST SIDE OF THE PROPERTY FROM THE NEIGHBORING PROPERTY
SHOWING THE PROPOSED LOCATION OF PART OF THE WALL**



**REAR SIDE OF THE PROPERTY SHOWING THE PROPOSED WALL LOCATION
FROM THE NEIGHBORING PROPERTY**





2424 CALLE DE PARIAN



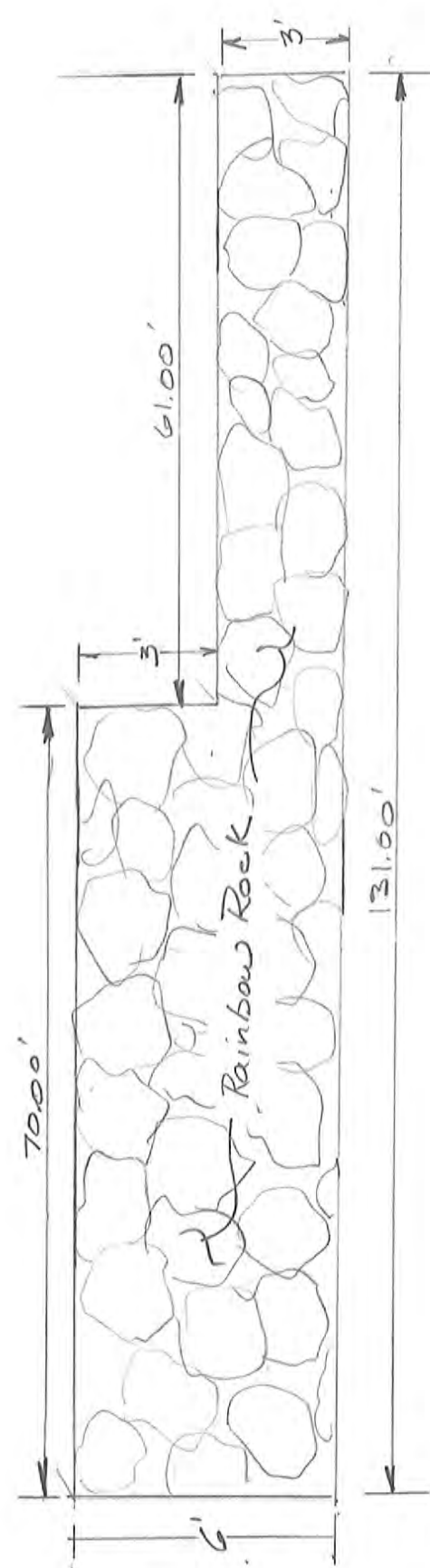
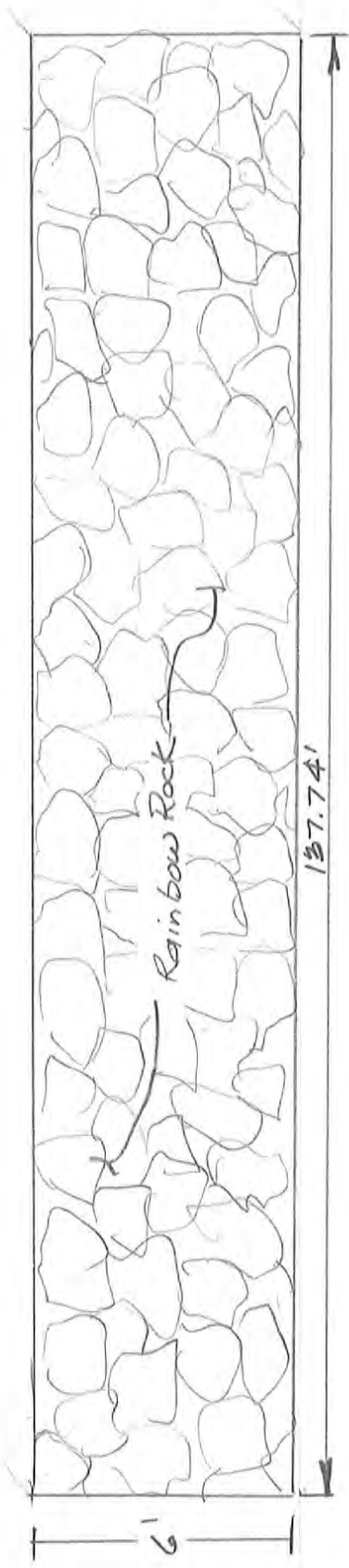
NOTE:
 FLOOD ZONE "X"; AREAS DETERMINED TO BE OUTSIDE
 500-YEAR FLOOD PLAIN, AS PER MAP NO. 35013C1093G
 EFFECTIVE 7/06/16

**PLAT OF SURVEY OF LOT E
 CARREON TRACTS SUBDIVISION**

Not For Construction Purposes
 Filed 6/3/1994 in Bk. 18 Pg. 89,
 City of Las Cruces, Dona Ana County,
 New Mexico. Date of Survey 8/1/2018.

I certify, as a licensed surveyor in
 the State of New Mexico, that this
 plat meets or exceeds the standards
 for land surveys in New Mexico.
Gerald K. Donohue
 GERALD K. DONOHUE P.L.S. 8172

DONOHUE LAND SURVEYS
 100 WYATT DRIVE
 SUITE A
 LAS CRUCES, NM 88005
 1-575-528-1114



060938
\$ 250.00

TOWN OF MESILLA
APPLICATION FOR RESIDENTIAL BUILDING PERMIT
2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (505)524-3262 extension 109

CASE NO. 060938 ZONE: HR CODE: 41 APPLICATION DATE: 7/23/09

Cecilia Quintana
Rose Coleman
Name of Applicant Telephone Number 505-280-0084

2424 Calle de Parian Mesilla NM 88046
Street Address City State Zip Code

Mesilla Valley Consultants LLC 4421 Elks Dr. Las Cruces NM
Contractor Name and Address

575-915-4419 Contractor Telephone Number Contractor Tax I.D. Number Contractor License #

LOCATION & DESCRIPTION OF PROPOSED WORK:
Rear and SE side of property lot. Construct 205 ft of 6' rock wall and 60' ft of 3' ft rock wall.

Estimated Cost:
\$ 20,000.00

Cecilia Quintana
Signature of Applicant Date: 7-16-2019

With the exception of administrative approvals, all permit applications must undergo a review process from staff, PZHAC and BOT before issuance of a building permit.
Recorded proof of ownership with legal description of property (deed or current tax bill) along with verification of legally subdivided status of the property are required.
Plan sheets are to be no larger than 11 x 17 inches.

PZHAC Administrative Approval Approved Disapproved Approved with conditions
BOT Approved Disapproved Approved with condition

CONDITIONS: PZHAC REVIEW + BOT FINAL APPROVAL REQ'D

FEE: REVIEW: 250.00 ISSUE DATE: _____
PERMIT: _____ -ISSUE DATE: _____

This application includes:

1. Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was legally subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
2. Foundation Plan with details
3. Floor Plans showing rooms, their uses and dimensions
4. Cross Sections of walls.
5. Roof and floor framing plan. (If manufactured trusses, submit layout of trusses and stamped engineer design plan.)
6. Drainage plan.
7. Architectural style and color scheme (Historical and commercial zones only.)
8. Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from Public Utility providing water service.)

White: File Yellow: Customer

**BOT ACTION FORM
ZONING PERMIT 060942
[PZHAC REVIEW – 8/5/19]
STAFF ANALYSIS**

(Decision was based on information provided during the Work Session)

Case 060942 – 2290 Calle de Parian, Suite D; submitted by Felix Armijo; a request for a zoning permit to construct an addition to a restaurant structure (Café Don Felix) at this address. Zoned: Historical Commercial (HC)

Staff Analysis:

The proposed work was discussed in the PZHAC Work Session held prior to this meeting. (Please refer to the information provided in the write-up for this item in the Work Session.)

If it is determined that the proposed addition is acceptable to the Town as proposed, or if an alternate solution is arrived at, then the request can proceed on the assumption that all requirements of the Code will be satisfied. The PZHAC should continue on to approve the request based on the Findings stated below.

If, on the other hand, it is determined that the proposed addition is not be acceptable to the Town, and no other solution can be reached, then the PZHAC should either postpone the request further until the applicant can return with a proposal that meets the standards set forth by the PZHAC; or the PZHAC should deny the request based on the request not meeting any or all of the Findings as listed.

Estimated Cost: @ \$20,000.00

Consistency with the Code:

The PZHAC will need to determine that the proposed addition be consistent with the requirements of the HR zoning district. Additionally, the PZHAC will need to determine that the request meets all other development and application requirements of the Code.

The PZHAC will also need to determine that the request, as submitted, is consistent with the all other sections of the **Building and Zoning Codes** that may be applied to this project.

Findings:

- The PZHAC has jurisdiction to review and approve this request.
- The proposed work consists of constructing an addition to house a walk-in freezer, refrigerator, and food prep area to the rear of a restaurant at this address.
- The PZHAC has determined that the proposed addition meets all applicable Code requirements.

PZHAC ACTION:

The PZHAC determined that the proposed wall would not be out of character with the historic nature of the other structures nearby and voted 3 – 0 to recommend APPROVAL of this request to the BOT.

BOT OPTIONS:

1. Approve the application as recommended by the PZHAC.
2. Approve the application with conditions.
3. Reject the application.

BOT ACTION:

**PZHAC WORK SESSION
AUGUST 5, 2018
ITEM 4**

Submitted by Felix Armijo; a request to discuss plans to add a walk-in freezer to a restaurant structure (Café Don Felix) at 2290 Calle de Parian, Suite D. (**Case 060942**) Zoned: Historical Commercial (HC)

Mr. Armijo would like to discuss his plans to add additions to the restaurant at this address in order to house a walk-in freezer and refrigerator with a food prep area. The addition will be on the south side of the existing structure and will be about 12 feet by 34 feet for a total of about 408 square feet. Access will be directly from the restaurant, and by a door to the exterior of the building. The exterior of the addition will be finished to match the exterior of the existing structure. Run-off will be directed toward a part of the property that contains an existing excavation that was once the basement to another structure on the property. This excavation is currently being used to contain storm water run-off.

The overall purpose of this addition is to allow the restaurant to expand its capabilities and be more viable as a restaurant. The addition will not affect any of the businesses currently in other parts of the building, and will not have a detrimental affect on other neighboring properties. All required setbacks will be met, and the addition will have minimal affect on the appearance of the structure provided that it is finished to match the existing structure.

Attached is information about the structure from the Historical Register. According to the register, the structure was built in 1947 and, at the time the Register was compiled in 1980, was considered architecturally neutral to the area.

Also attached are photos that show the existing structure, as well as plans showing the work to be done.

Estimated Cost: @ 7,500.00

Consistency with the Code:

The PZHAC will need to determine that the proposed addition will be compatible with the surrounding properties and that the proposed addition will not change the style of the dwelling or have a negative effect on neighboring properties.

If approved, the PZHAC will need to determine that the request, as submitted, is consistent with the all other sections of the **Building and Zoning Codes** that may be applied to this project.

The applicant will be present at the work session to provide further details about the proposed construction and to answer any questions that may arise.

PHOTO OF PROPERTY FROM CALLE PRINCIPAL SHOWING PROPOSED LOCATION



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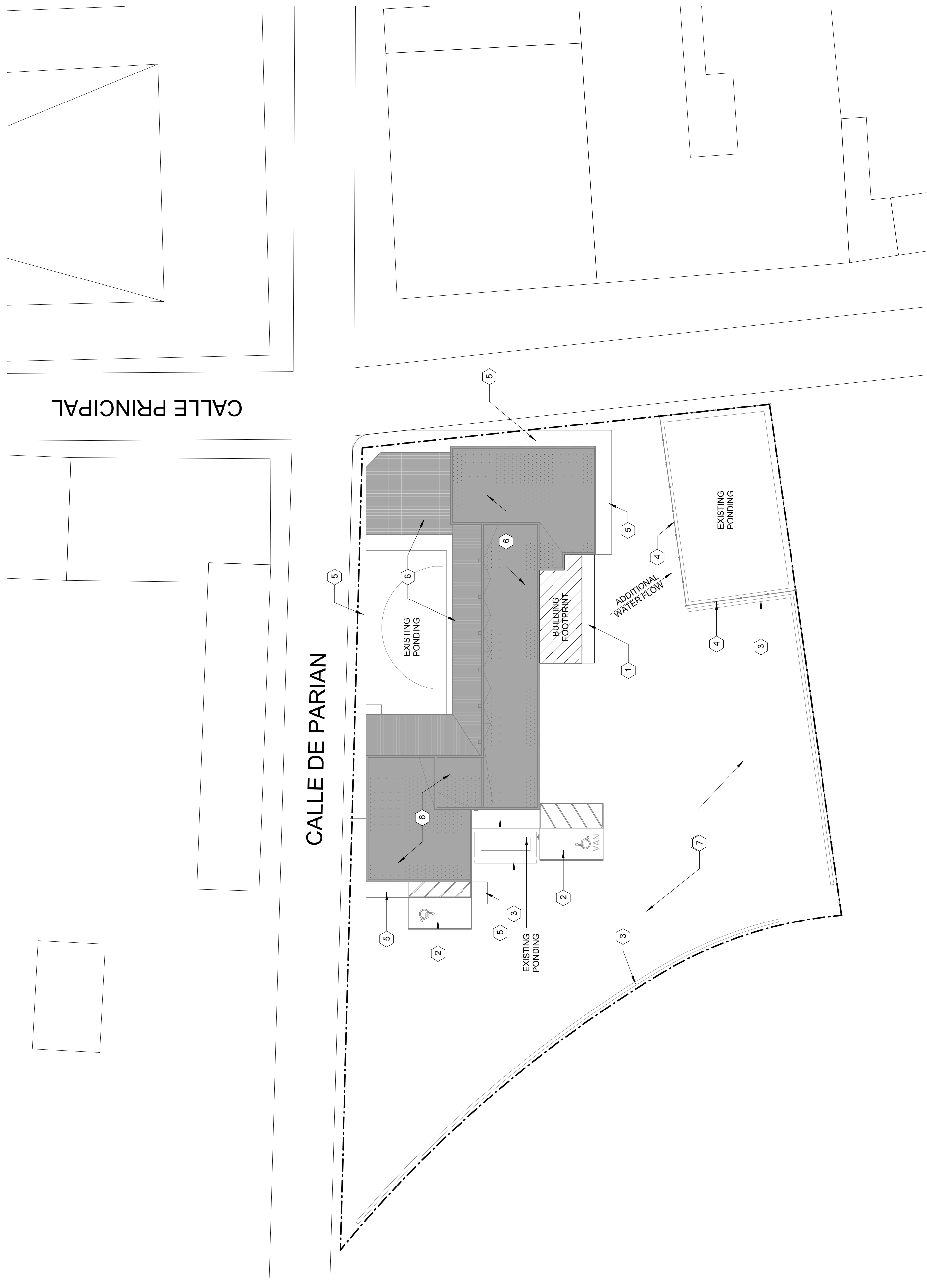
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GENERAL NOTES

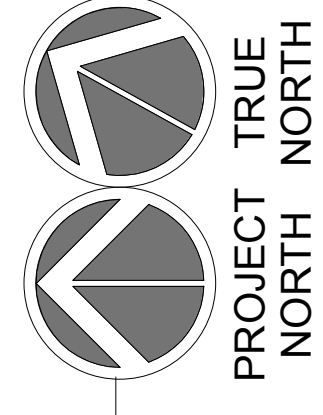
1. THE EXISTING SITE AND ROOF DRAINAGE IS TO REMAIN. THE ADDITIONAL ROOF DRAINAGE SHALL BE DIRECTED TO THE SOUTHEAST POND.
2. ROOF DRAIN DIMENSIONS ARE FOR GENERAL INTENT OF LOCATION. THE ROOF DRAIN DIMENSIONS SHALL BE ADJUSTED TO MATCH THE EXISTING ROOF WITH STRUCTURAL FRAMING. IF REQUIRED, ROOF DRAIN LOCATIONS SHALL BE ADJUSTED AS REQUIRED TO AVOID CONFLICTS WITH STRUCTURAL FRAMING.

KEYNOTE LEGEND

1. CAST-IN-PLACE CONCRETE SIDEWALK
2. EXISTING PARKING SPACE TO REMAIN. NO WORK IN THIS AREA
3. EXISTING PARKING SPACE VEHICLE BARRIER TO REMAIN. NO WORK IN THIS AREA
4. EXISTING FENCE TO REMAIN
5. EXISTING SIDEWALK TO REMAIN
6. EXISTING ROOFING SYSTEM AND EQUIPMENT TO REMAIN. NO WORK IN THIS AREA
7. EXISTING PARKING LOT AND GRADING TO REMAIN. NO WORK IN THIS AREA

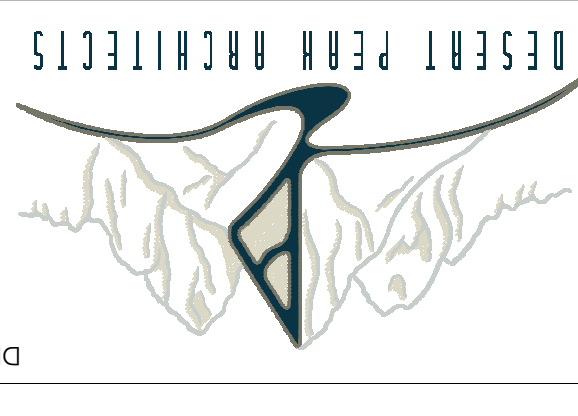


A1 ARCHITECTURAL SITE PLAN
 A100 1" = 20'-0"



PROJECT
CAFÉ DON FÉLIX
REFRIGERATOR ADDITION
 2290 CALLE DE PARIAN
 MESILLA, NEW MEXICO 88046

PROJECT NO. 485-01
 SHEET TITLE
 ARCHITECTURAL SITE PLAN
 SHEET NO. **A100**



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Mark	Date	Description

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GENERAL NOTES

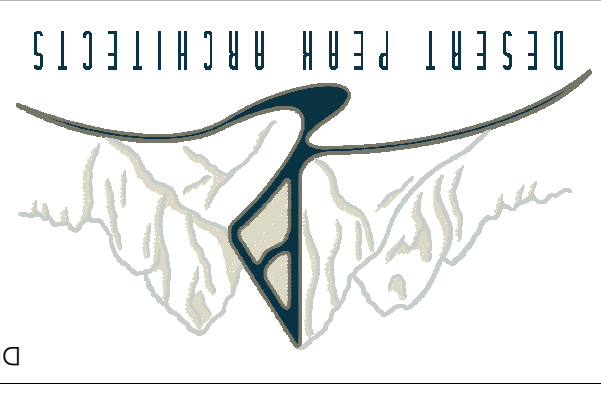
- REFER TO PARTITION SHEET FOR GENERAL PARTITION NOTES.
- ALL DIMENSIONS ARE TO FACE OF STUD OR MASONRY. WINDOW AND DOOR DIMENSIONS ARE TO EDGE OF OPENING.

KEYNOTE LEGEND

- WALL MOUNTED SHELVING
- REFRIGERATOR/FREEZER UNIT - PROVIDED BY OWNER
- EXISTING DOOR TO REMAIN.
- EXISTING WINDOW TO REMAIN.
- EXISTING WALL TO REMAIN.
- 8" ADOBE WALL. MATCH EXISTING FINISH AND COLOR.
- 6" STEEL STUDS, 16" O.C. MAXIMUM

Mark	Date	ISSUE:	Description

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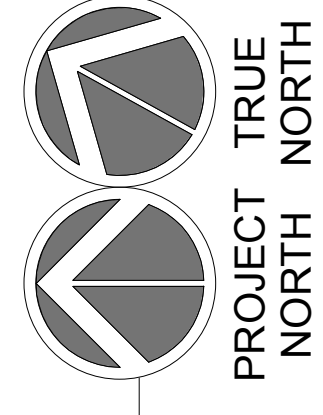
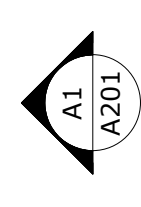
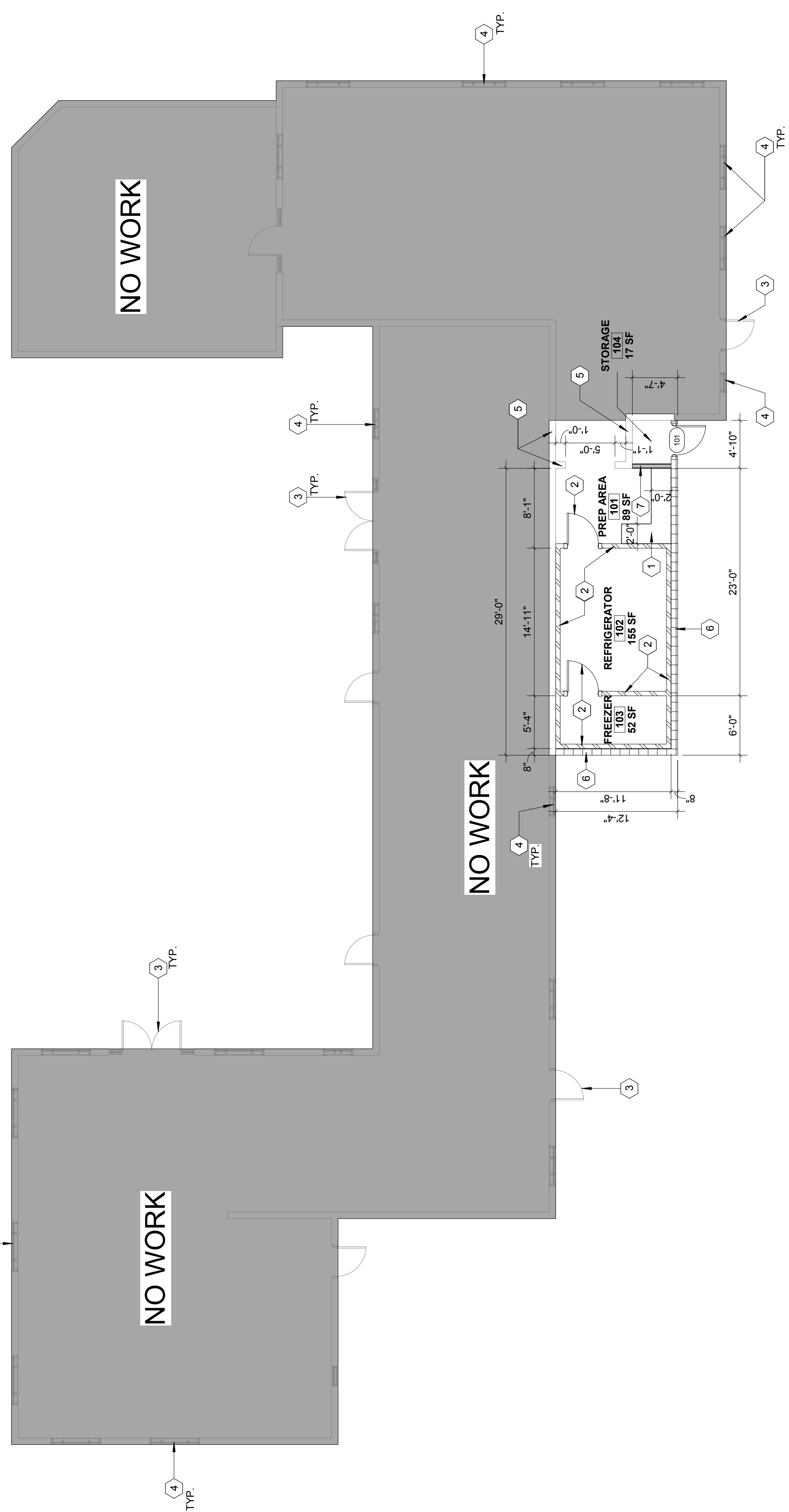


PROJECT
CAFÉ DON FÉLIX
REFRIGERATOR ADDITION
 2290 CALLE DE PARIAN
 MESILLA, NEW MEXICO 88046

PROJECT NO.
 486-01

SHEET TITLE
 FLOOR PLAN

SHEET NO.
A101



A1 FIRST FLOOR PLAN
 A101 1/8" = 1'-0"

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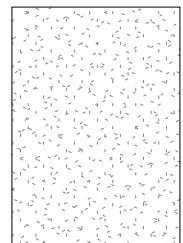
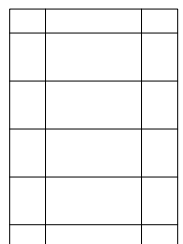
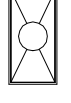

GENERAL NOTES

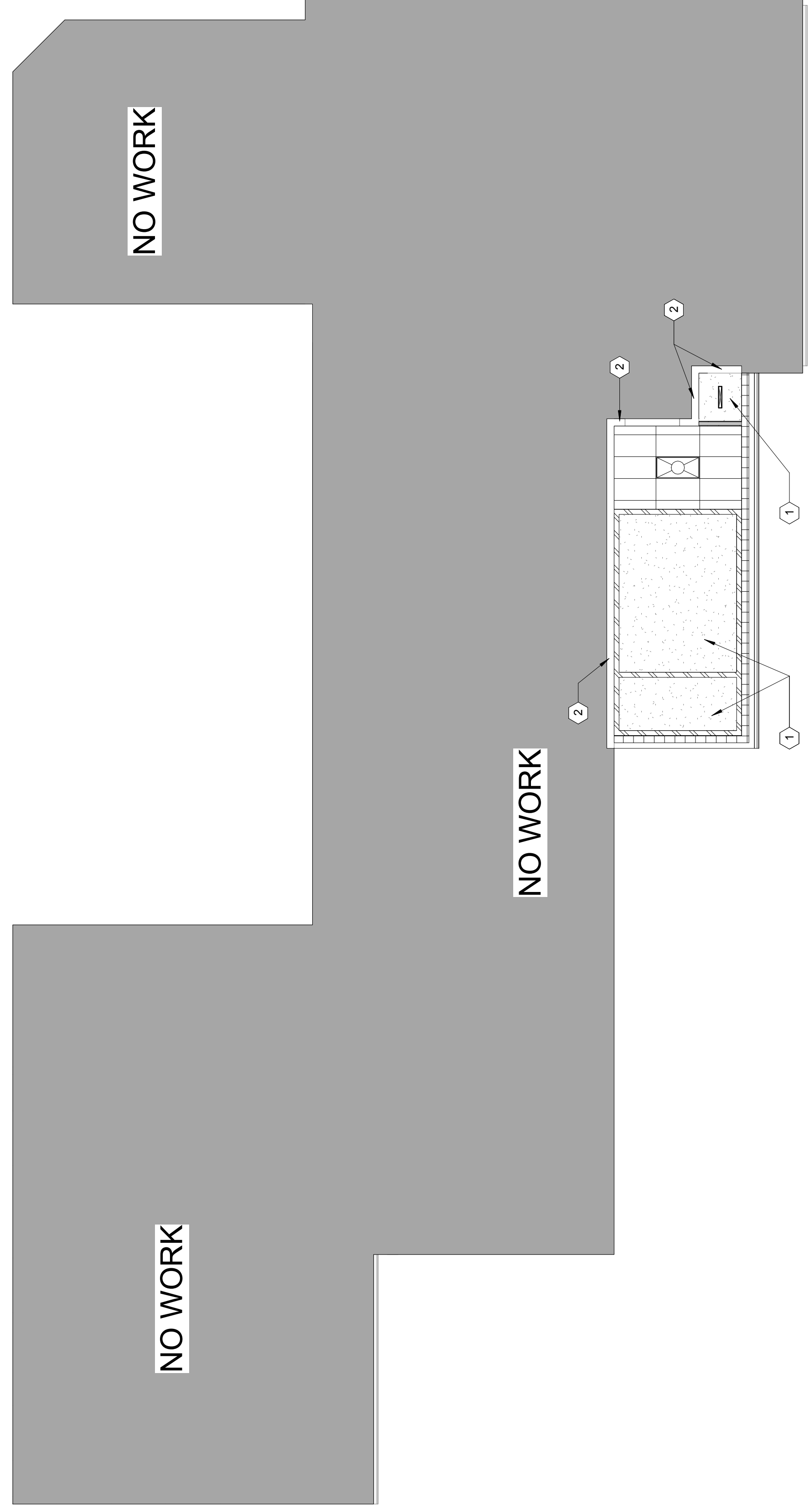
1. ALL SPRINKLER HEADS, ELECTRICAL COMMUNICATIONS, AND LIFE SAFETY DEVICES TO FALL IN THE CENTER OF CEILING TILES.
2. ALL MECHANICAL, ELECTRICAL, AND PLUMBING EQUIPMENT TO BE LOCATED IN THE CENTER OF CEILING TILES UNLESS NOTED OTHERWISE.
3. CONTRACTOR SHALL COORDINATE WITH ALL MECHANICAL, ELECTRICAL, AND PLUMBING ENGINEERING SHEETS FOR ADDITIONAL CEILING MOUNTED EQUIPMENT.

KEYNOTE LEGEND

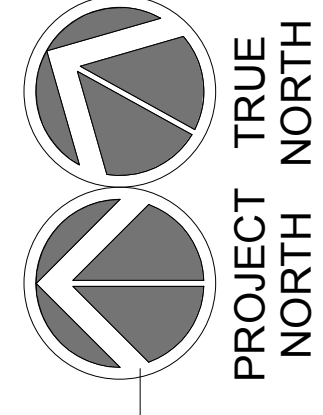
1	SCHEDULED CEILING
2	EXISTING WALL TO REMAIN.

RCP LEGEND

	SCHEDULED GYPSUM BOARD
	SCHEDULED ACOUSTICAL TILE CEILING 24" x 48"
	2x4 LIGHT FIXTURE - REF ELECTRICAL SHEETS.
	2x4 LIGHT FIXTURE - REF ELECTRICAL SHEETS.



A1 FIRST FLOOR REFLECTED CEILING PLAN
A121 1/8" = 1'-0"



PROJECT
CAFÉ DON FÉLIX
REFRIGERATOR ADDITION
 2290 CALLE DE PARIAN
 MESILLA, NEW MEXICO 88046



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ISSUE:	Mark	Date	Description

PROJECT NO. 486-01
 SHEET TITLE
 FIRST FLOOR REFLECTED
 CEILING PLAN
 SHEET NO. **A121**

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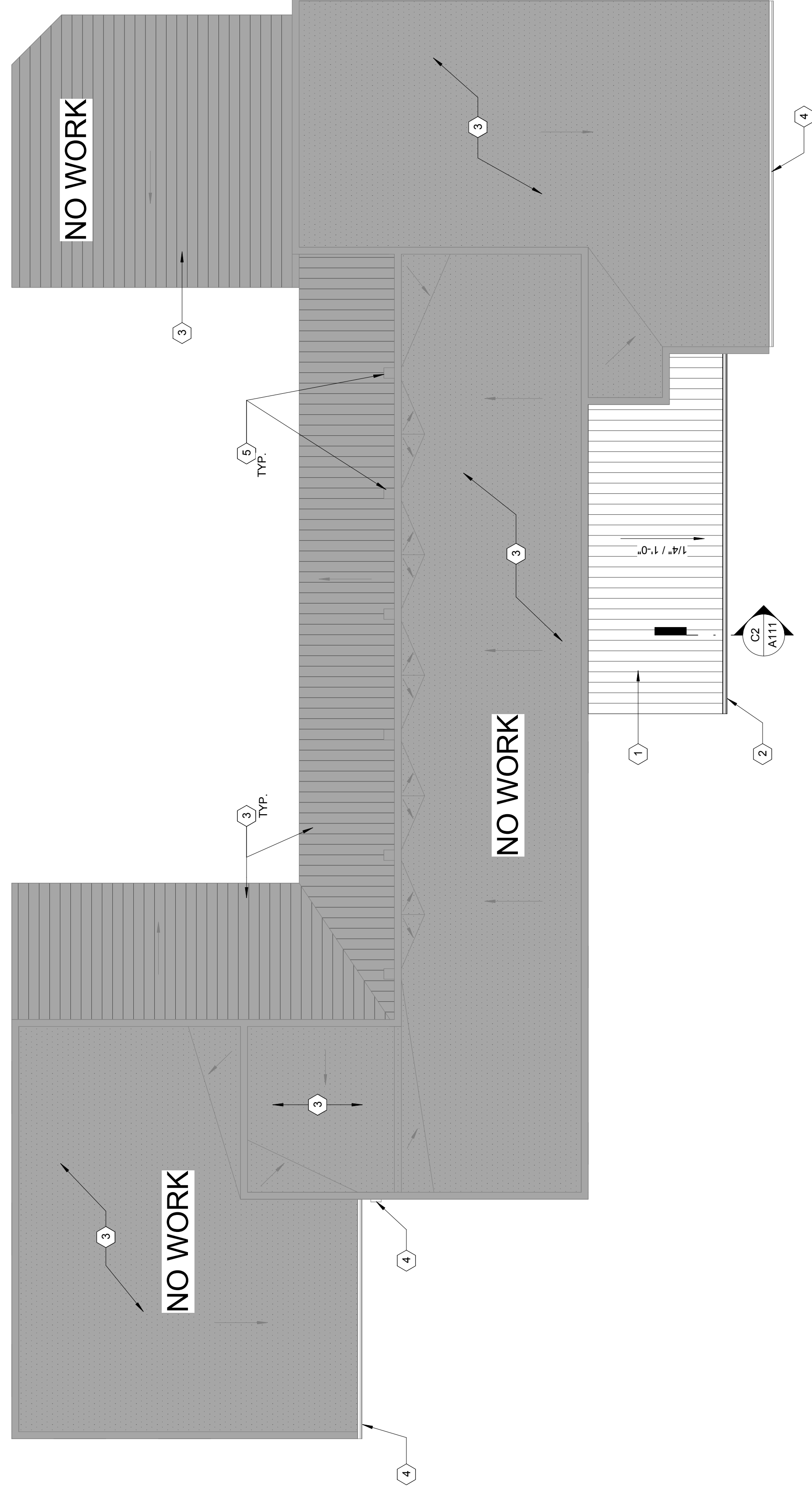
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GENERAL NOTES

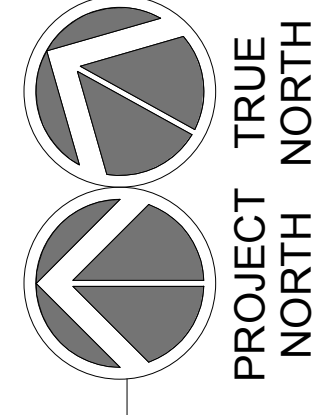
1. THE INTENT OF THE DETAILING SHOWN WITHIN THIS PROJECT IS TO REPRESENT THE MINIMUM STANDARD OF UNDERLAYMENT, FLASHINGS, TRIMS, ETC. REQUIRED TO ACHIEVE THE SPECIFIED WARRANTY PERIOD. THE CONTRACTOR SHALL COORDINATE WITH PLUMBING AND MECHANICAL WORK IN THIS PROJECT TO DETERMINE EXTENT OF PLUMBING/MECHANICAL ROOF EQUIPMENT AND PENETRATIONS.
2. AT ALL ROOF MOUNTED EQUIPMENT AND PENETRATIONS, THE GENERAL CONTRACTOR SHALL COORDINATE WITH MECHANICAL & ROOFING SUBCONTRACTORS TO DETERMINE THE LOCATION AND QUANTITIES OF VENT-THRU-ROOF AND FLUE PENETRATIONS.
3. ALL PENETRATIONS THROUGH METAL ROOF ASSEMBLIES SHALL BE CENTERED IN METAL ROOF PANELS. NO PENETRATIONS ARE ALLOWED WITHIN SEAMS OF METAL ROOF PANELS. THE PLUMBING CONTRACTOR SHALL COORDINATE PENETRATIONS WITH THE GENERAL CONTRACTOR TO DETERMINE THE LOCATION AND QUANTITIES OF PENETRATIONS THROUGH METAL ROOF ASSEMBLIES. COORDINATE FLASHING WORK WITH THE PLUMBING CONTRACTOR TO DETERMINE THE LOCATION AND QUANTITIES OF PIPE FLASHING BOOT FLANGE.
4. ALL ROOF PENETRATION AND FLASHING WORK SHALL BE THE RESPONSIBILITY OF ROOFING CONTRACTOR AND SHALL BE COVERED AS PART OF THE MANUFACTURERS WARRANTY.
5. PROVIDE TAPERED INSULATION CRICKETS AT HIGH SIDES OF ALL ROOF MOUNTED EQUIPMENT, SKYLIGHTS, CORNERS, ETC. AND ALONG WALLS AS REQUIRED TO PROVIDE POSITIVE DRAINAGE. SLOPE FOR ALL CRICKETS SHALL MATCH THE ADJACENT ROOF ASSEMBLY. SLOPE = 1/2" PER FOOT CRICKET. CRICKETS AT NEW ROOF PENETRATIONS ARE SHOWN FOR REFERENCE ONLY AND ARE NOT TO SCALE. REFER TO THE MANUFACTURERS INSTALLATION MANUAL FOR CRICKET TERMINATIONS, COPINGS, EDGE METAL SHALL MEET ES-1 STANDARDS.
6. ROOF DRAINS ARE DIMENSIONS ARE FOR GENERAL INTENT OF LOCATION. THE ROOFING AND PLUMBING CONTRACTOR SHALL COORDINATE THE EXACT LOCATION WITH THE PLUMBING CONTRACTOR TO DETERMINE THE EXACT LOCATION. BE ADJUSTED AS REQUIRED TO AVOID CONFLICTS WITH STRUCTURAL FRAMING.

KEYNOTE LEGEND

1. STANDING SEAM METAL ROOF PANELS
2. GUTTER
3. EXISTING ROOFING SYSTEM AND EQUIPMENT TO REMAIN
4. EXISTING ROOFING GUTTER AND DOWNSPOUTS TO REMAIN
5. EXISTING ROOF SCUPPER TO REMAIN



A1 ROOF PLAN
A131 1/8" = 1'-0"



A

B

C

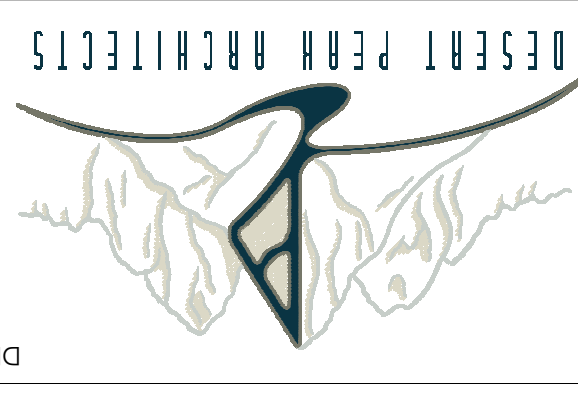
D

SHEET NO. **A131**

SHEET TITLE ROOF PLAN

PROJECT NO. 486-01

PROJECT
CAFÉ DON FÉLIX
REFRIGERATOR ADDITION
2290 CALLE DE PARIAN
MESILLA, NEW MEXICO 88046



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ISSUE:	Mark	Date	Description

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GENERAL NOTES

- A. REFER TO WINDOW TYPE LEGEND FOR WINDOW SIZES.
- B. SEAL ALL PENETRATIONS AT EXTERIOR WALLS THROUGH RIGID CONTINUOUS INSULATION WITH AN EQUAL OR BETTER FIRE RATING TO THE WALL.
- C. SEAL ALL PENETRATIONS THROUGH FIRE RATED WALLS WITH FIRE STOPPING THAT MEETS OR EXCEEDS THE FIRE RATING OF THE WALLS.
- D. REFER TO ELECTRICAL FOR EXTERIOR LIGHT FIXTURES

KEYNOTE LEGEND

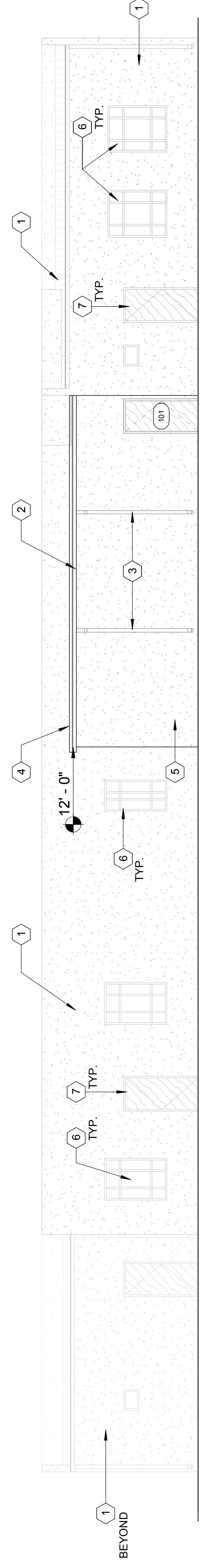
- 1 EXISTING CONSTRUCTION TO REMAIN
- 2 GUTTER
- 3 DOWNSPOUT
- 4 STANDING SEAM METAL ROOF PANELS
- 5 NEW STUCCO FINISH TO MATCH EXISTING BUILDING
- 6 EXISTING WINDOW TO REMAIN.
- 7 EXISTING DOOR TO REMAIN.

D

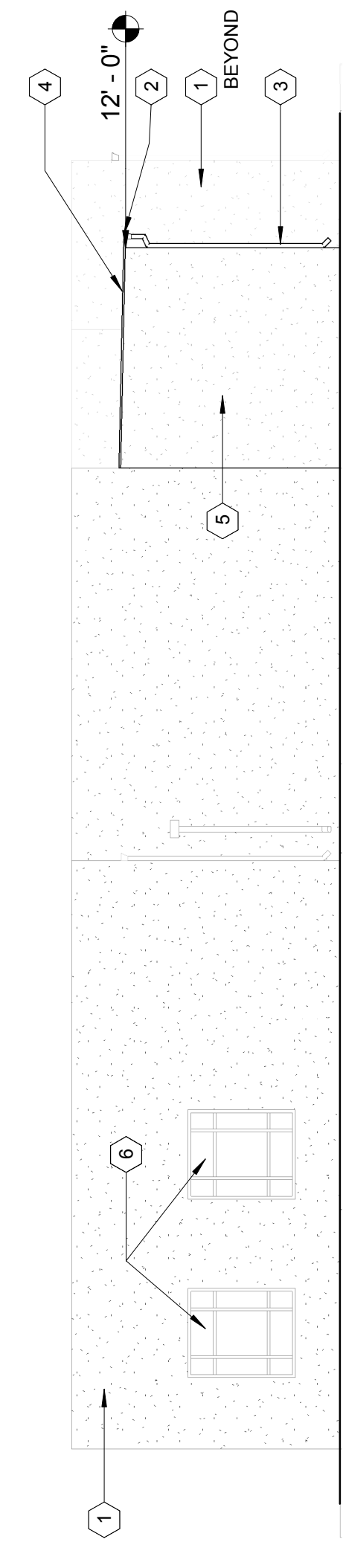
C

B

A



A1 BUILDING ELEVATION SOUTH
A201 1/8" = 1'-0"



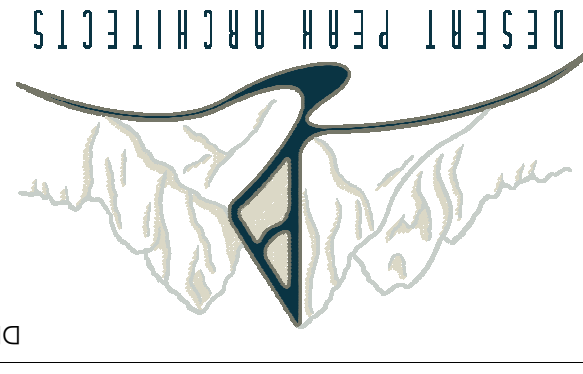
A4 BUILDING ELEVATION WEST
A201 1/8" = 1'-0"

PROJECT
CAFÉ DON FÉLIX
REFRIGERATOR ADDITION
 2290 CALLE DE PARIAN
 MESILLA, NEW MEXICO 88046

PROJECT NO.
 486-01

SHEET TITLE
 EXTERIOR ELEVATIONS

SHEET NO.
A201



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Mark	Date	Description

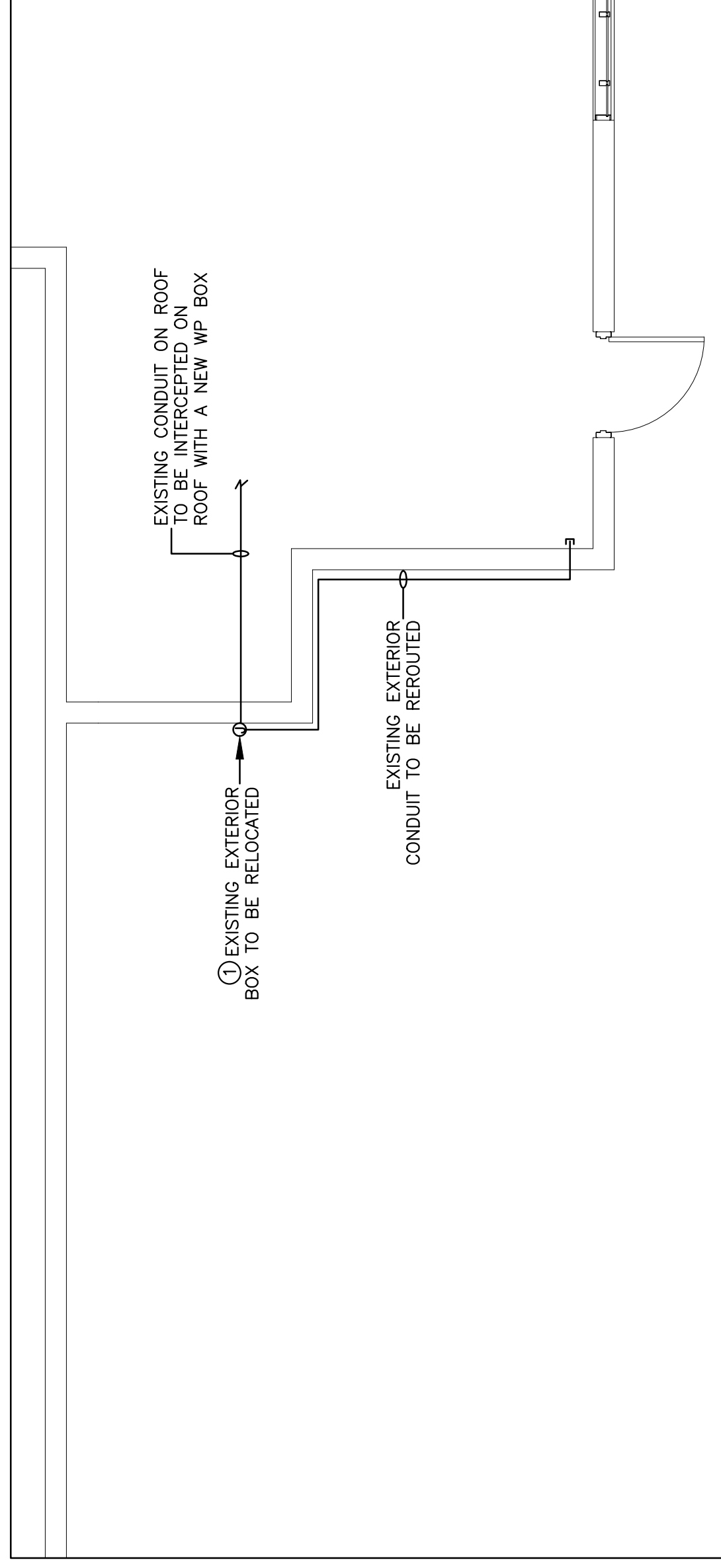
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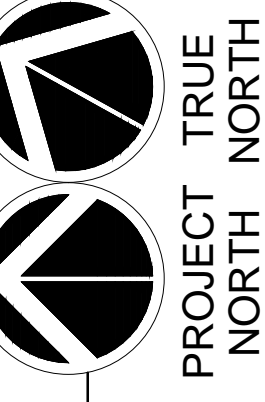
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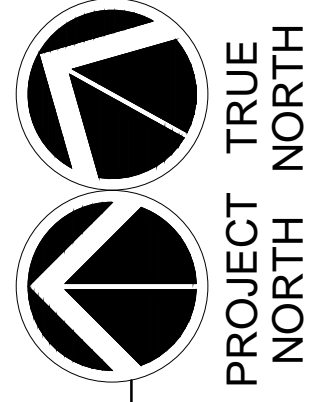
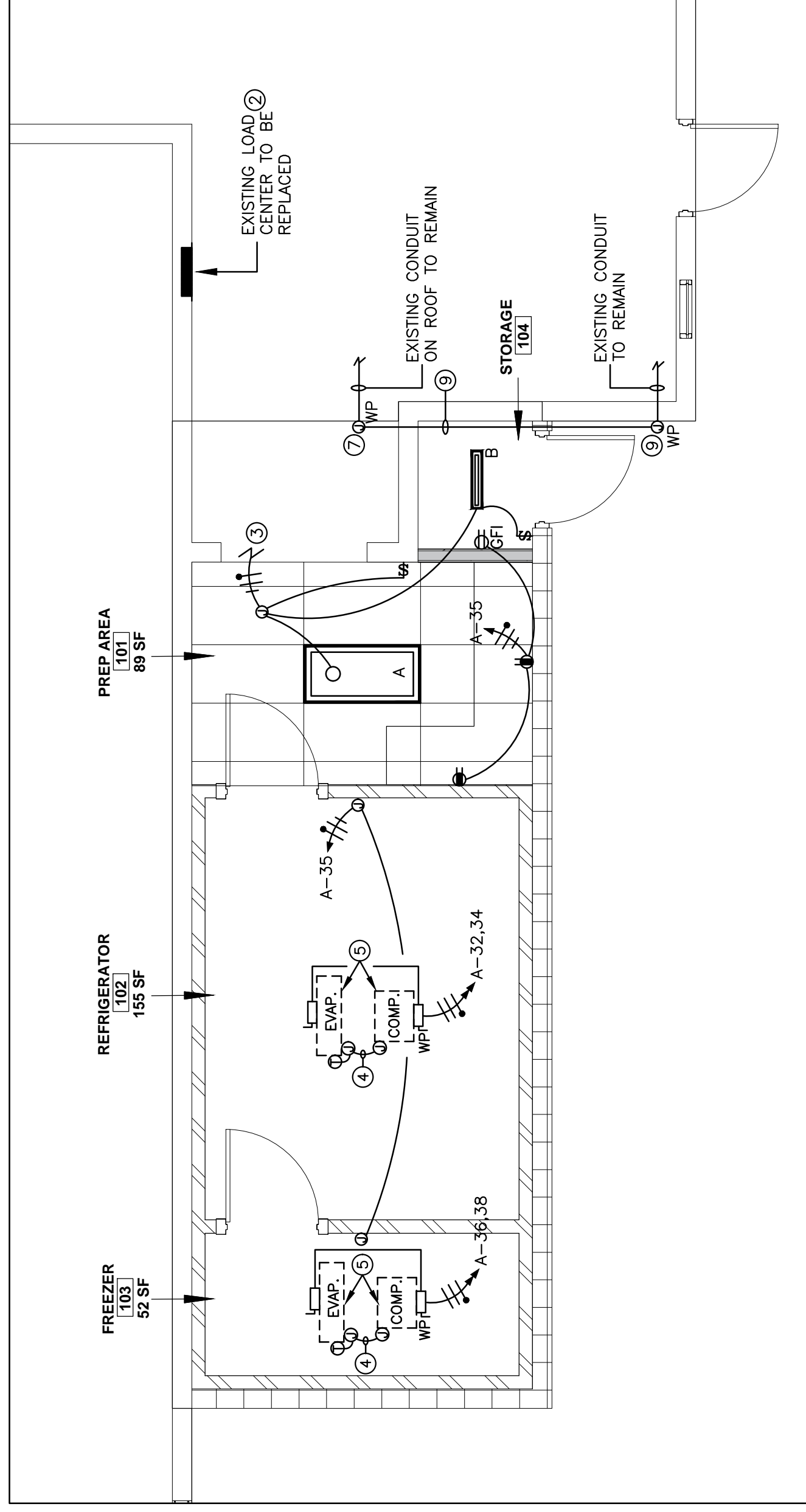


D



1 DEMOLITION PLAN
E101
1/4" = 1'-0"

C



2 POWER PLAN
E101
1/4" = 1'-0"

A

FIXTURE SCHEDULE			
TYPE	DESCRIPTION & MFR. CAT. NO.	LAMPS & WATTS	MOUNTING
A	COLUMBIA LC24-40K-LW-G-R-ESD-U	LED 35W	RECESSED
B	COLUMBIA LCL 2' 40K-LW-E-U	LED 15W	SURFACE

GENERAL NOTES:

- ELECTRICAL INSTALLATION MUST FOLLOW ALL NATIONAL AND LOCAL ELECTRICAL CODES. INSTALLATION MUST CONFORM TO THE LOCAL POWER COMPANY'S SPECIFICATIONS.
- ALL MATERIALS SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL MANUFACTURERS ASSOCIATION AND SHALL BE LISTED BY THE U.L.
- ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR ALL PERMIT AND INSPECTION FEES REQUIRED BY THE GOVERNING BODIES.
- ELECTRICAL CONTRACTOR MUST COMPLY WITH THE LATEST A.D.A. REQUIREMENTS.
- MINIMUM SIZE CONDUCTORS SHALL BE #12 THW CU. UNLESS NOTED OR SIZED BY CODE.
- ALL WIRING MUST BE IN CONDUIT, INCLUDING ALL L.V. WIRING. THIN WALL CONDUIT (EMT) CAN BE INSTALLED CONCEALED ABOVE CEILING, IN FURRED WALLS, AND WALLS EXCEPT WHERE THOSE WALLS ARE GROUDED SOLID. USE FLEX CONDUIT FOR MOTORS AND LIGHTING
- USE WATER TIGHT FLEX CONDUIT FOR WATER HEATERS DISPOSALS, EXTERIOR CONNECTIONS, ETC. BOND ACCORDING TO CODE.
- VERIFY LOCATIONS OF ALL ELECTRICAL EQUIPMENT WITH OTHER TRADES TO AVOID CONFLICTS AND INTERFERENCES.
- CONTRACTOR MUST VISIT SITE TO BECOME FAMILIAR WITH EXISTING CONDITIONS BEFORE BIDDING ON THIS PROJECT.
- ELECTRICAL DEVICE INSTALLATION SHALL COMPLY WITH ACCESSIBILITY CODES ADOPTED BY NEW MEXICO.
- FEEDER, BRANCH CIRCUIT DESIGN, AND INSTALLATION SHALL COMPLY WITH THE 2017 NEW MEXICO ELECTRICAL CODE AND NEC 2017.
- ABANDONED POWER WIRING WILL BE REMOVED BACK TO THE SOURCE. THE ACCESSIBLE PORTIONS OF CONDUIT/TUBING AND EQUIPMENT SHALL BE REMOVED. THE ACCESSIBLE PORTIONS OF ABANDONED CABLES (VOICE, DATA, VIDEO, ALARM, ETC.) SHALL BE REMOVED.
- ALL ELECTRICAL EQUIPMENT IN FIRE RATED WALLS MUST BE INSTALLED SO THAT FIRE RATING IS NOT COMPROMISED.
- BRANCH CIRCUIT NUMBERS ARE TO BE WRITTEN WITH BLACK INK MARKERS ON ALL COVERS OF ALL JUNCTION BOXES LOCATED ABOVE CEILING. MARKINGS MUST INDICATE THE PANEL AND CIRCUIT NUMBER OF CIRCUITS IN THAT BOX.

KEYED NOTES:

- EXISTING J-BOX AND CONDUIT TO BE REMOVED FROM EXISTING EXTERIOR WALL. RELOCATE EXISTING J-BOX AND CONDUIT AS SHOWN ON NEW PLAN. CONTRACTOR TO INTERCEPT AND RE-ROUTE CONDUIT ABOVE ON ROOF AND MAINTAIN EXISTING CIRCUIT CONTINUITY. SEE NOTES #7, #8 & #9 FOR MORE REQUIREMENTS.
- APPROXIMATE LOCATION OF EXISTING SEWERS, LOAD CENTER, 240V, 1PH., 3W. TO BE REPLACED. CONTRACTOR TO MAINTAIN EXISTING MAIN FEEDERS AND CONDUITS FOR RECONNECTIONS TO NEW PANELBOARD. CONTRACTOR TO IDENTIFY AND RECONNECT EXISTING BRANCH CIRCUITS TO NEW PANELBOARD 'A'. EXTEND EXISTING CIRCUITS AND CONDUITS AS NECESSARY. NEW CIRCUIT BREAKERS SIZE TO MATCH EXISTING BREAKERS SIZE. CONTRACTOR MUST TRACE ALL EXISTING CIRCUITS AND PROVIDE NEW TYPED PANEL DIRECTORY WITH ALL APPLICABLE INFORMATION. CONTRACTOR TO REMOVE AND MARK ASSOCIATED CIRCUIT BREAKERS AS 'SPARE'. ON NEW PANEL DIRECTORY, SEE PANELBOARD SCHEDULE ON THIS SHEET. CONTRACTOR MUST PATCH AND PAINT EXISTING WALL TO MATCH EXISTING CONDITIONS.
- CONNECT NEW LIGHT FIXTURE TO EXISTING LIGHTING CIRCUIT INSTALLED IN NEXT ROOM. CONTRACTOR TO EXTEND EXISTING CIRCUIT AND CONDUIT AS NECESSARY FOR CONNECTIONS TO NEW LIGHT FIXTURE.
- 5-#12 CU. CONDENS. IN 1/2" CONDUIT FOR CONTROL WIRING BETWEEN COMPRESSOR AND EVAPORATOR UNIT. COORDINATE WITH EQUIPMENT INSTALLER.
- MAKE CONNECTIONS TO SELF-CONTAINED WALK-IN COOLER OR FREEZER CONDENSER. WALK-IN EVAPORATOR IS FED FROM CONDENSER. COORDINATE WITH WALK-IN INSTALLER AND OWNER FOR EXACT LOCATION AND REQUIREMENTS BEFORE DOING ANY WORK.
- MAKE CONNECTIONS TO WALK-IN COOLER AND FREEZER LIGHTS AND DOOR SWITCHES AS NECESSARY.
- INTERCEPT EXISTING CONDUIT ON ROOF WITH A NEW WP J-BOX. MAINTAIN CIRCUIT CONTINUITY.
- NEW 1/2" CONDUIT WITH EXISTING CIRCUIT FROM WP J-BOX ON ROOF TO NEW J-BOX ON WALL.
- INTERCEPT EXISTING CONDUIT ON WALL WITH NEW WP J-BOX. MAINTAIN CIRCUIT CONTINUITY.

ELECTRICAL SYMBOL LEGEND

SYMBOL	DESCRIPTION
A	2X4 LED FIXTURE, LETTER DENOTES TYPE.
Ⓢ	KEYED NOTE SYMBOL-ELECTRICAL
—LV—	LOW VOLTAGE WIRING CIRCUIT
WP	WEATHERPROOF
AFF	ABOVE FINISHED FLOOR
\$	SINGLE POLE WALL SWITCH, 48" TO TOP OF BOX. UNLESS OTHERWISE NOTED.
Ⓢ	JUNCTION BOX
Ⓢ	JUNCTION BOX INSTALLED ABOVE THE CEILING WITH FLEXIBLE CONDUIT CONNECTION TO LAY-IN FIXTURES. MAXIMUM 6'-0" LENGTH OF CONDUIT WITH REQUIRED CONDUCTORS ALONG WITH GREEN WIRE GROUND.
Ⓢ	DUPLEX OUTLET, 18" A.F.F. TO CENTER OF BOX, UNLESS OTHERWISE NOTED
Ⓢ	GROUND FAULT CIRCUIT INTERRUPTING DUPLEX RECEPTACLE, 18" A.F.F., TO CENTER, UNLESS OTHERWISE NOTED
Ⓢ	THERMOSTAT
Ⓢ	NEW PANEL BOARD. SEE PANEL SCHEDULE FOR CHARACTERISTICS.
Ⓢ	DISCONNECT TO BE NEMA 3R IF INSTALLED OUTDOORS.
Ⓢ	GROUND FAULT CIRCUIT INTERRUPTING DUPLEX RECEPTACLE MOUNTED AT 44" AFF. TO CENTER, UNLESS OTHERWISE NOTED.

PANELBOARD SCHEDULE

NEW PANELBOARD 'A': 120/240 V, 1 PHASE, 3 WIRE, 125 AMP, M.L.O. RECESSED MOUNTED, COPPER BUS, DOOR-IN-DOOR, 10KAIC

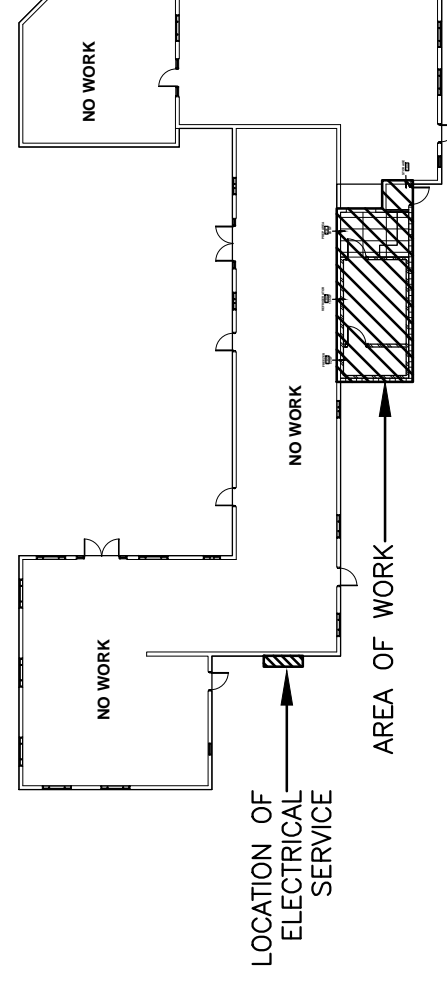
LOAD SERVED	CKT. NO.	BREAKER TYPE	PHASE	A	C	CT. NO.	LOAD SERVED
EXISTING C.B.	(1)	50	2	20/1	2	EXISTING C.B.	(1)
EXISTING C.B.	(1)	15	2	60	4	EXISTING C.B.	(1)
EXISTING C.B.	(1)	7	2	20	8	EXISTING C.B.	(1)
EXISTING C.B.	(1)	9	15/1	20/1	12	EXISTING C.B.	(1)
EXISTING C.B.	(1)	11	15/1	20/1	14	EXISTING C.B.	(1)
EXISTING C.B.	(1)	13	20/1	20/1	16	EXISTING C.B.	(1)
EXISTING C.B.	(1)	15	20/1	20/1	18	EXISTING C.B.	(1)
EXISTING C.B.	(1)	17	20/1	20/1	20	EXISTING C.B.	(1)
EXISTING C.B.	(1)	19	20/1	20/1	22	EXISTING C.B.	(1)
EXISTING C.B.	(1)	21	20/1	20/1	24	EXISTING C.B.	(1)
EXISTING C.B.	(1)	23	20/1	20/1	26	EXISTING C.B.	(1)
EXISTING C.B.	(1)	25	20/1	20/1	28	EXISTING C.B.	(1)
EXISTING C.B.	(1)	27	20/1	20/1	30	EXISTING C.B.	(1)
EXISTING C.B.	(1)	29	20/1	20/1	32	NEW WALK-IN REF.	(2)
EXISTING C.B.	(1)	31	20/1	20	34	---	---
NEW RECEPTACLES	(2)	35	20/1	20	36	NEW WALK-IN COOLER	(2)
SPACE		37	---	---	38	---	---
SPACE		39	---	---	40	SPACE	---

- CONTRACTOR TO IDENTIFY AND RECONNECT EXISTING CIRCUITS TO NEW PANELBOARD. EXTEND EXISTING CIRCUITS AND CONDUITS AS NECESSARY. NEW CIRCUIT BREAKERS TO MATCH EXISTING BREAKERS BY SIZE AND POLES. CONTRACTOR MUST PROVIDE NEW TYPED PANEL DIRECTORY WITH ALL CIRCUITS IDENTIFIED. IF CONTRACTOR WISES CIRCUITS THAT ARE NOT BEING IN USE, CONTRACTOR TO REMOVE AND MARK ASSOCIATED CIRCUIT BREAKERS AS 'SPARE' ON NEW PANEL DIRECTORY.
- PROVIDE AND INSTALL NEW CIRCUIT BREAKER IN NEW PANELBOARD FOR POWER TO NEW LOAD. CIRCUIT BREAKER SIZE TO BE AS SHOWN ON PANEL SCHEDULE.

NEW PANELBOARD 'A' LOAD CALCULATIONS

LOAD (VA)
EXISTING LOAD NEC 220.87
EPEC BILLING RECORDS
NEW WALK-IN COOLER
NEW WALK-IN FREEZER
TOTAL
21,304 VA

1 = 21,304 VA / (240V) = 89 AMPS
 FROM EXISTING 100A, 240V, 1PH, 3W, NEMA 1 PANELBOARD 'A' FED FROM EXISTING 100A, 240V, 1PH, 3W, NEMA 1

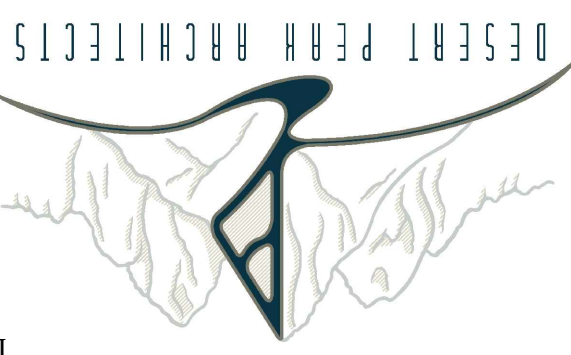


KEY PLAN

ELECTRICAL RISER DIAGRAM

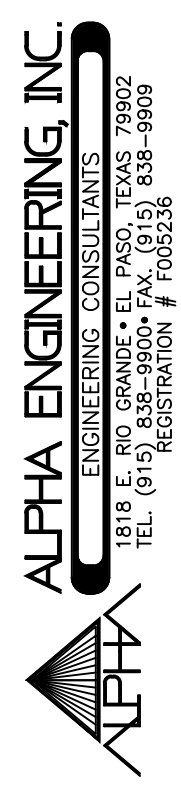
NTS

DESERT PEAK ARCHITECTS, PC
 NEW MEXICO 88005
 LAS CRUCES
 F: 575.528.0023
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PROJECT
CAFE DON FELIX
REFRIGERATOR ADDITION
 2290 CALLE DE PARIAN
 MESILLA, NEW MEXICO 88046

PROJECT NO. 488-01
 SHEET TITLE FLOOR PLAN
 SHEET NO. E101

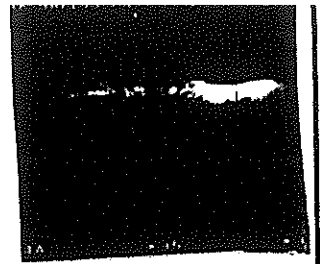


1. "ALERT SHEET?"

YES NO

NEW MEXICO HISTORIC BUILDING INVENTORY
FORM 1: BUILDINGS & STRUCTURES 6-6-79

2. SURVEY DATE		3. BY		4. CHECK DATE		5. BY		6. COMPUTER DATE		7. BY		8. FILE DATE		9. BY		10. REVISION DATE		11. BY	
1/10/80 MRT																			
12. COUNTY				13. FIELD MAP				14. NUMBER				15. UTM REFERENCE NUMBER							
Dona Ana												13		331000		3572000			
												ZONE		EASTING		NORTHING			



6. SPECIFIC LOCATION
In the SW corner of Calle Principal and Calle del Pasajero.
"Frontier Club"
Pioneer Era

17. CITY: Merilla
18. TOWN: Merilla 18. ZIP: 88046
19. LAND GRANT OR RESERVATION: Merilla Civil Colony

20. I.D. #: 183202120
22. ROLL #: 39 23. NEG #: 35
24. LOCATION OF NEG.

20. LEGAL DESCRIPTION: TOWNSHIP NS RANGE EW SECTION $\frac{1}{4}$ $\frac{1}{4}$ $\frac{1}{4}$

25. ARCHITECTURAL STYLE: adobe vernacular

26. NUMBER OF STORIES: 1
David + Lydia Taylor
Box 504

27. FOUNDATION MATERIAL(S): MESILLA NM 88046

28. EXTERIOR WALL SURFACE(S): 4-006-137-229-477

29. FENESTRATION (TYPE, DIVISIONS/SURROUNDS/SILLS/ARRANGEMENTS)
white stucco - horiz cement line surrounding east + north sides at eye level.
- boarded up window on north side
- glass block window on east side, concrete lug sill, no surrounds
- small windows (2 on the east, 2 on the north), deeply recessed, slop sills, no surrounds, located ca. 7' above sidewalk.

DOOR/ENTRANCE (TYPE/SURROUNDS) Main entrance is on the shaved NE corner of building
2 plank wood door with large lite in upper portion.

31. ROOF(S) (NUMBER/SHAPE/MATERIAL, DETAILS) In the side facing Calle del Pasajero Two horiz plank doors
Flat. Svelte stepped parapet on east side.

32. CHIMNEY(S) (NUMBER, EXTERIOR-INTERIOR/MATERIALS) none observed

33. EXTERIOR DETAILS Viga ends visible on east side.

34. COMMENTS Although only dating from the 1940's, this building occupies part of the block which ~~has~~ saw much history.

35. ESTIMATED DATE OF CONSTRUCTION: 1947
36. ACTUAL DATE OF CONSTRUCTION: 1947
37. SOURCE OF DATE: Roberto Fretze
38. ARCHITECT/ENGINEER/BUILDER: Roberto Fretze
39. SOURCE OF INFORMATION:
40. NAME:
41. PRESENT USE: commercial frame shop
42. HISTORIC CONDITION:
 EXCELLENT GOOD FAIR DETERIORATED
44. DEGREE OF REMODELING:
 MINOR MODERATE MAJOR

45. IMMEDIATE SURROUNDINGS: commercial tourism/residential
46. RELATION TO SURROUNDINGS:
 SIMILAR NOT SIMILAR
47. ARCHITECTURAL CONTRIBUTION TO SURROUNDINGS:
 PLUS NEUTRAL MINUS
48. OVERALL SIGNIFICANCE:
 NATIONAL STATE LOCAL NONE
49. ASSOCIATED BUILDINGS? YES NO
50. WHAT TYPE? adjacent building to south.
51. IF INVENTORIED, LIST I.D. #'S:
52. SEE BACK? YES NO

This building was constructed shortly after WWII. The ~~Frontier Club~~ occupied it since its construction until ca. 1965. It was allegedly the hottest place in town. On this spot prior to the war was an old adobe, part of Demetrio Chavez store (check this).

The property is ~~owned~~ taken care of by Rosa Delphin who lives in the building imm. to the west. (belongs to the hospital)

— Former property of Bautista Montoya

Demetrio Chavez - Post office

On the site where the Frontier Club is now S.W. corner Calle Principal, Calle de Toran - Angel Rucero interview with Mary Taylor - 1950±

News - Louis H. Baldy and Demetrio Chavez have formed a mercantile firm under the name of Baldy & Chavez
La Playa - Mesilla Independent, Pg 6 - Aug. 11, 1877

- 119 The Leonart-Maurin store was built in 1863 of burnt brick from a local kiln. This structure was to have a second story as evidenced by blocked up, partially completed windows above the canal level. Only about three feet of this story was completed when the project was halted. Maurin was murdered in his residence at the rear of the store in 1866. A few years later another Frenchman, Pedro Duhalde, who was a saloon keeper and merchant in Mesilla, was murdered here also. The building has since been used as a saloon, residence, town hall, and is currently housing two gift shops. The building faces the plaza and is adjacent to the Reynolds/Griggs Store to the north. The high parapet has a brick coping. The windows are fixed wood frame and have brick segmental arches. All doors and windows are protected with iron grill work. (S)
- 120 This structure was constructed shortly after World War II and was the Frontier Club Bar until the mid 1960's when it was converted into a gift shop. The building occupied the spot where part of the Demetrio Chavez store and post office was during the latter half of the 19th century. It is stuccoed adobe with a flat roof, has a parapet, chamfered corner at the main entrance, small wood frame and glass block windows and is adjacent to the building to the south. (N)
- 121 This was once part of the Demetrio Chavez store, post office and residence during the latter half of the 19th century. The portion of the building fronting Calle Principal is now being used as a gift shop. Behind this gift shop is the residence of Rosa Delphin and her three huge Saint Bernards. Some of the walls in this building probably date from the 1850's. (S)
- 122 Originally the property of Cristobal Ascarate, this site was used as the corral area for the overland livestock and wagons in the 1850's. It then became the Thomas J. Bull Store in 1874 which supplied soldiers, miners and settlers with just about anything they needed. In 1909, the present building replaced the Bull Store. This structure was built by John Bombach for his brother Otto and used as a general store. It is a tall adobe building with unplastered walls and faceted stone pilasters against the facade. The building then housed the Wells Fargo Museum in the 1950's until it burned at which time the roof collapsed and many of the museum pieces were destroyed. It is now vacant. A tall adobe barn is adjacent to this building at the rear. (S)
- 123 This is a stuccoed adobe house with metal casement windows, and an asphalt shingled hip roof. It follows a square plan. est. 1935. (N)

TOWN OF MESILLA
 PERMISSION TO CONDUCT WORK
 OR

OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT

OFFICIAL USE ONLY:

Case # 060942

Fee \$ 22.50

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 060942 ZONE: HC CODE: ADU APPLICATION DATE: 7/30/19

Name of Applicant/Owner: Felix Armijo Applicant's Telephone Number: 575-640-6713

Applicant's/Owner's Mailing Address: 2004 W. Union City: LC State: NM Zip Code: 88005

Applicant's/Owner's E-mail Address: veflowers@AOL.com

Contractor's Name & Address (If none, indicate Self): Same as above

Contractor's Telephone Number: _____ Contractor's Tax ID Number: _____ Contractor's License Number: _____

Address of Proposed Work: 2290 Calle de Perian Suite D[#]

Description of Proposed Work: Approx 11-28 ft Shed

Estimated Cost: \$ 1,500 Signature of Applicant: [Signature] Date: July 16-2019

Signature of property owner if applicant is not the property owner: _____

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and BOT before issuance of a building permit. Recorded proof of ownership with legal description of property (deed or current tax bill) along with verification of legally subdivided status of the property are required. Plan sheets are to be no larger than 11 x 17 inches.

FOR OFFICIAL USE ONLY

PZHAC Administrative Approval Approved Date: _____ Disapproved Date: _____
 Approved Date: _____ Disapproved Date: _____
 Disapproved Date: _____ Approved with Conditions
 Approved with conditions

FIRE INSPECTION/APPROVAL REQUIRED: ___ YES NO ___ SEE CONDITIONS

CID PERMIT/INSPECTION REQUIRED: YES ___ NO ___ SEE CONDITIONS

CONDITIONS: PZHAC REVIEW + BOT FINAL APPROVAL REQ'D
CID PERMIT REQ'D
ZZ

PERMISSION ISSUED/DENIED BY: _____ ISSUE DATE: _____

- This Application will include the following, if checked:
1. ___ Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was legally subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
 2. ___ Site Plan with dimensions and details.
 3. ___ Proof of legal access to the property.
 4. ___ Drainage plan.
 5. ___ Architectural style and color scheme -- diagrams or elevations (Historical and commercial zones only).
 6. ___ Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
 7. ___ Other information as necessary or required by the City Code or Community Development:

DATE: July 22, 2019
TO: The Board of Trustees of the Town of Mesilla
FROM: Susan Krueger

Pursuant to the Mesilla Town Code (MTC), Section 18.85.220 "Effective date –Time for appeal," I, Susan Krueger hereby file with the Board of Trustees of the Town of Mesilla an appeal of the decision of the Board of Adjustment (BOA) made on July 2, 2019, regarding Case V19-002. At this meeting, the BOA voted two aye and one nay to grant a variance to allow an off- premises directory sign.

Summary:

Based on section 18-85.020 (MTC), the purpose of a variance is to allow modification, under specific circumstances, of regulations of Title 18*. Section 18.85.020 also includes the statement that the BOA is not authorized to permit a variance for any use** prohibited by Title 18. In the Sign Code section of Title 18, at 18.65.165C, it states that directory signs shall be located on the premises where the businesses are located. Therefore, as applied to Case V19-002, the BOA cannot grant the variance requested because the sign will not be located on the premises of the business.

Particular facts submitted as the basis for the appeal:

First, off-premises directory signs are not allowed in the Sign Code. Section 18.65.165C states "All directory signs shall be located on the premises where the businesses are located."
Second, the Board of Adjustment is not authorized to grant a variance for a use prohibited by Title 18. Section 18.85.020, "Purpose of variance," states "This section does not authorize the board of adjustment to permit any use prohibited by this title. . . ."

*"Title 18" is the Comprehensive Land Use Ordinance of the Town of Mesilla.

** "Use" is defined at 18.10.020.

Respectfully submitted by Susan Krueger on July 22, 2019:



RECEIVED
7/22/19
4:34 pm

BOARD OF ADJUSTMENTS RESOLUTION NO. 2019-02

A RESOLUTION RECOMMENDING TO THE BOARD OF TRUSTEES APPROVAL OF A VARIANCE PER ORDINANCE REGULATIONS OF THE MESILLA TOWN CODE.

WHEREAS, the BOARD OF ADJUSTMENTS held a Public Hearing on July 2, 2019, to receive public input on a proposed Variance to Chapter 18.65 (Signs) of the Mesilla Town Code to allow an off premises directory sign on a commercial property at the SE corner of Calle de Alvarez and Avenida de Mesilla (address to be assigned); and

WHEREAS, staff sent certified notifications of the Variance request to the property owners within 100 feet of the property; and

WHEREAS, staff posted an orange public notice sign for the Variance request on the property as required per MTC Section 18.85.160; and

WHEREAS, the BOARD OF ADJUSTMENTS took input from the public about the proposed Variance at the Public Hearing held July 2, 2019; and

WHEREAS, the applicant, Chris Schaefer acting on behalf of Paul D.G. Miller, would like to install an off premises directory sign on the above listed property; and

WHEREAS, Section 18.65.165(C) of the MTC requires that all directory signs shall be located on the premises where the businesses are located; and

WHEREAS, the BOARD OF ADJUSTMENTS found that the strict interpretation of the Sign Code would not be in the best interest of the Town; and


WHEREAS, a member of the public stated that they did not believe that a Variance could be allowed to override the Code; and

WHEREAS, the commercial use of the property, which is currently vacant, will not be changed; and

WHEREAS, the BOARD OF ADJUSTMENTS found that the proposed Variance is not detrimental to the Town of Mesilla;

NOW THEREFORE, BE IT RESOLVED by the BOARD OF ADJUSTMENTS for the Town of Mesilla that the recommendation is made to the Board of Trustees for approval of the requested Variance for an off premises directory sign to be installed on a commercial property at the SE corner of Calle de Alvarez and Avenida de Mesilla in the Town of Mesilla.

PASSED, ADOPTED AND APPROVED on this 2nd day of July 2019.



Carlos Arzabal, Chairman
TOWN OF MESILLA
BOARD OF ADJUSTMENTS

ATTEST:



Larry Shannon
Community Development Coordinator



PUBLIC HEARING and SPECIAL MEETING

of the

BOARD OF ADJUSTMENT

AGENDA

July 2, 2019

BOA PUBLIC HEARING

THE TOWN OF MESILLA BOARD OF ADJUSTMENT, WILL HOLD A PUBLIC HEARING ON **TUESDAY, JULY 2, 2019 AT 10:00 A.M.** IN THE BOARD ROOM OF THE MESILLA TOWN HALL, 2231 AVENIDA DE MESILLA TO OBTAIN PUBLIC INPUT ON THE FOLLOWING:

V19-002: Submitted by Chris Schaefer for Paul Miller; a request for a Variance to Chapter 18.65 (Signs) of the Mesilla Town Code to allow an off premises directory sign on a commercial property at the SE corner of Calle de Alvarez and Avenida de Mesilla (address to be assigned). Zoned: General Commercial (C)

Staff gave a brief presentation of the case, explaining that the requested sign was originally approved by the PZHAC on May 20, 2019. The PZHAC determined that although the proposed sign could be considered a "Development Identification Sign" which is allowed by the Code, it would actually be more of a "Directory Sign" because of its content which will actually list the businesses that are on other properties in the Mercado area. The PZHAC determined that the proposed sign is needed to promote the Mercado area and voted to recommend approval of the request to the BOT. The BOT voted to have the case heard as a variance by the Board of Adjustments (BOA) since the proposed sign appears to be a directory sign that is normally not allowed by the Code since the businesses to be listed are on other premises (Section 18.65.165(C) of the MTC). This is the reason that this request is being brought before the BOA. Staff also mentioned that the Sign Code is currently in the process of being amended.

BOA Chair Arzabal stated that the Board of Trustees never took a vote on the case when it was brought before them, but a vote was never taken to approve or deny the case, rather it was recommended that the case be sent to the BOA as a variance request. Chair Arzabal also asked if there were any negative responses from notified property owners. There were no negative responses, according to Staff.

A vote was taken to open the Public Hearing

Input from the Public

Susan Krueger-resident

Stated that the Variance section of the MTC does not allow the BOA to permit any use that is prohibited by the Code. She also stated that the both the PZHAC and the BOT identified the issue as being a specific problem with the Sign Code, and that the BOA does not have the authority to override the Code. The BOA should instead send the original case back to the BOT, and the BOT should change the Sign Code if there is a problem with the Sign Code. The BOA should state that this is an issue of economic development that should be acted on now.

Chris Shaefer-applicant

Spoke on behalf of the application. Read a letter of support from Mitch Alamag, neighboring property owner (Rokoko Art Studio) in the Mercado, that was written in January 2019 in support of the original Code amendment request. In the letter, Mr. Alamag stated that the location of his business in the Mercado was a mistake in that the business was hidden in the Mercado area with no visibility from Highway 28, and business suffered. Signage Highway 28 would be very beneficial for businesses located in the Mercado. R. Schaefer stated that this sign would serve all businesses in the Mercado, not just one.

Stephan Schaefer

Addressed Ms. Krueger's concerns and stated that an amendment to the Sign Code would have been preferable, but that the BOT has refused to take action on a requested amendment to the Sign Code. He believes that strict interpretation of the Code has created an undue hardship on properties in the Mercado due to their location in the Mercado resulting from strict interpretation of the Code. He called attention to 18.85.010 which states that a variance may be granted from the provisions of this title when strict enforcement of the Code causes an unnecessary hardship on businesses in the Mercado due to their location in the Mercado.

As far as Ms. Krueger's claim that a variance cannot be used to allow a prohibited use, the applicant is not asking for any prohibited use of the land, but rather, for an adjustment of the hardship caused by the Code on businesses in the Mercado. He believes that the Code is referring to prohibited land uses. If it weren't for the content of the sign, the sign would normally be approved.

There was no further input.

**V19-003: Submitted by Robert Reynolds, a request for a Variance to Chapter 18.35 (Historical Residential Zone) to allow the construction of a carport within the required side setbacks of three feet for a property at 2415 Calle de Parian. Zoned: Historical Residential (HR)
BOA Chair Arzabal gave a brief presentation of the case and opened the floor to public input.**

There was no public input and the public hearing was closed.

BOA SPECIAL MEETING

THE TOWN OF MESILLA BOARD OF ADJUSTMENT, WILL HOLD A SPECIAL MEETING ON **TUESDAY, JULY 2, 2019 IMMEDIATELY AFTER THE PUBLIC HEARING IN THE BOARD ROOM OF THE MESILLA TOWN HALL, 2231 AVENIDA DE MESILLA.**

PLEDGE OF ALLEGIANCE

ROLL CALL AND DETERMINATION OF A QUORUM

All BOA members were present, a quorum was present.

BOARD OF ADJUSTMENT BUSINESS

Variance Decisions:

**V19-002: Submitted by Chris Schaefer for Paul Miller; a request for a Variance to Chapter 18.65 (Signs) of the Mesilla Town Code to allow an off premises directory sign on a commercial property at the SE corner of Calle de Alvarez and Avenida de Mesilla (address to be assigned). Zoned: General Commercial (C)
BOA chair Arzabal requested comments from the BOA.**

BOA member Alvillar referenced page 11 of a letter from Mr. Schaefer stated that the BOT denied the case. According to BOA Chair Arzabal, the BOT never denied the case. This was further supported by staff, who had checked the BOT minutes prior to the BOA meeting. BOA member Alvillar still remained adamant that the BOT had denied the case and that this ruling could not be overturned. BOA member Hernandez stated that he had been at the meeting and that the BOT voted to send the case to the BOA.

BOA member Hernandez made a motion to approve the case, seconded by BOA Chair Arzabal. BOA member Hernandez voted to approve the case. BOA member Alvillar vote to deny the case. BOA Chair Arzabal voted to break the tie and approve the case. The case was approved and BOA Chair Arzabal instructed staff to bring the case back before the BOT at their next meeting.

**V19-003: Submitted by Robert Reynolds, a request for a Variance to Chapter 18.35 (Historical Residential Zone) to allow the construction of a carport within the required side setbacks of three feet for a property at 2415 Calle de Parian. Zoned: Historical Residential (HR)
Staff stated that of the ten letters sent to notified property owners, there were two negative responses. One was from Yolanda Lucero who is a PZHAC Commissioner, who was out of Town and notified staff by phone. She did not**

have a particular problem with this case, she was generally against all “zero” lot line construction. The other response was from Davie Salas, the neighbor immediately to the west. He too was out of town and expressed his concerns about the variance to staff by phone. He was concerned that, since the northern part of the applicant’s driveway extended about two feet onto his property, that this variance might be detrimental to his property. It was eventually determined that the area of encroachment would not be affected by the proposed carport, since the carport would be located further up the driveway. The applicant was also only asking for a variance to put the uprights for the carport one and one-half feet from the property line, not for a “zero” lot line.

Along with concerns about encroachment onto the neighboring property, drainage from the structure was also a concern.

The applicant’s wife was allowed to speak and explained the situation regarding the encroachment on the the neighboring property and the fact that since the carport would stop short of the encroachment and would not be built on the property line, there would be no negative effects on the neighboring property.

Staff stated that the what was being approved here was just the concept that the carport could be built within the required setbacks, the actual carport would still have to be approved by the PZHAC and the BOT.

There were no other issues. BOA Member Hernandez made a motion to approve V19-003, seconded by BOA Member Alvillar, and approved by a unanimous vote with the following condition:

- *The carport must be approved by the PZHAC, the BOT, and CID at a date to be determined.*

The meeting was adjourned at 10:53 am.

NOTICE

If you need an accommodation for a disability to enable you to fully participate in the hearing or meeting, please contact us at 524-3262 at least 48 hours prior to the meeting.

Posted on 6/17/19 at the following locations: Town Hall - 2231 Avenida de Mesilla; Public Safety Building - 2670 Calle de Parian; Mesilla Community Center - 2251 Calle de Santiago; Shorty’s Food Mart - 2290 Avenida de Mesilla; Ristramn Chile Co. - 2531 Avenida de Mesilla and the U.S. Post Office - 2253 Calle de Parian.

**BOARD OF ADJUSTMENT
PUBLIC HEARING
JULY 2, 2019
CASE V19-002**

V19-002: Submitted by Chris Schaefer; a request for a Variance to Chapter 18.65 (Signs) of the Mesilla Town Code to allow an off premises directory sign on a commercial property at the SE corner of Calle de Alvarez and Avenida de Mesilla (address to be assigned). Zoned: General Commercial (C)

DESCRIPTION OF REQUEST:

The applicant occupies part of a commercial building located in the commercial area behind the subject property. Currently, there is no indication or signage along Avenida de Mesilla that this commercial area exists or that there are commercial operations in the area. (This area is considered the “Mercado”, or commercial, area of Mesilla.) According to the applicant, very few people who visit Mesilla are even aware that this area exists, so he would like to install what would be, in essence, a directional sign that will be located on the property that is at the entrance to the area and will list the businesses in the Mercado area. (Attached is a photo of the proposed property where the sign would be located.) The owner of the property is aware of this request, and has agreed to allow the sign on his property.

The proposed sign is shown in an attached diagram.

The following are the portions of the Sign Code that address Directory and Development Identification Signs.

18.65.165 Directory signs.

A. A directory sign may be permitted for a building or development where there is more than one business or tenant. A directory sign may be a wall sign, projecting sign, or freestanding sign, provided the sign complies with all requirements for the type of sign.

B. A directory sign shall be limited to 15 square feet in area for signs located in the Historical Commercial (H-C zone) zone and 25 square feet in area for signs located in the Commercial (C) zone.

C. All directory signs shall be located on the premises where the businesses are located.

D. A directory sign may list all businesses or only the building or development name.

E. Each business may have one individual sign in addition to the identification on the directory sign, in accordance with the sign regulations and all other laws and ordinances. [Ord. 2008-04 § 10]

18.65.170 Development identification signs.

A development identification sign may be permitted at the entrance/exit to a commercial development to identify the development name and logo only.

A. The structure of a development identification sign shall be no larger than 48 square feet in size, and have a height no higher than four feet.

B. The actual sign portion of the development identification sign shall not exceed 25 square feet for the Commercial (C) zone, or 15 square feet for the Historic Commercial (H-C) zone. Area of the actual sign shall be determined by measuring the extent of the painted sign or graphic horizontally and vertically and calculating the area. [Ord. 2003-05 § 5; prior code § 11-3-17]

This sign request was originally heard by the PZHAC on May 20, 2019. The PZHAC determined that the proposed sign could be considered a “Development Identification Sign” which is allowed by the Code. However it is actually more of a “Directory Sign” because of its content, which will actually list the businesses on other properties in the Mercado area. The PZHAC determined that the proposed sign is actually needed to promote the Mercado area and voted to recommend approval of the request to the BOT. The BOT determined that the proposed sign is a directory sign that is normally not allowed by the Code because the businesses to be listed are on different properties, therefore a variance is necessary before the proposed sign can be allowed.

Consistency with the Code:

The following sections of the Code apply specifically to this request:

18.45.010 C – Commercial Zone Purpose.

This zone is intended to provide for limited commercial enterprises. [Ord. 94-06 § 1; prior code § 11-2-11.2.A]

The property is currently vacant, however the potential use of the property for any of the uses allowed in the C zone will not change as a result of this variance or the construction of a directory sign on the property. The variance will not result in any new uses being allowed on the property that are not currently allowed in the C zone.

18.85.040 Required showing for variance.

Before any variance may be granted, it shall be shown:

- A. That there are exceptional or extraordinary circumstances or conditions applicable to the property.
The property is only one of only seven properties out of twenty-seven in the Mercado area that borders directly on Avenida de Mesilla. The applicant also does not believe that it is the intent of the Code to create a situation in which the Code unnecessarily limits the ability of a section of the Town to promote itself.
- B. That such variance is necessary for the preservation and enjoyment of a substantial property right possessed by other property in the same vicinity and zone, and denied to the property in question.
Currently, only the seven properties that border Avenida de Mesilla can advertise their existence in the Mercado on Avenida de Mesilla, the other twenty properties in the Mercado not adjacent to Avenida de Mesilla are denied this right. This variance would allow these properties to have a sign along Avenida de Mesilla.
- C. That the granting of such variance will not be materially detrimental to the public welfare or injurious to the property or improvements in the vicinity.
Allowing a directory sign for the Mercado area will not have any affects that are detrimental or injurious to the public welfare or to the well being of the Town. Actually, the results would probably be beneficial to the Town by increasing the potential for commercial properties in the Mercado that are not along Avenida de Mesilla to attract more customers, resulting in an increase of revenue to the Town.
- D. A nonconforming use of neighboring lands or structures shall not be considered grounds for the issuance of a variance. [Ord. 94-06 § 1; prior code § 11-2-7.4]
This variance is not being requested because of any precedents set by any other lots, nor is it being requested to allow any special privileges to the applicant.

Additionally, the applicant believes that the strict interpretation of the Code would be inconsistent with the general purpose of the Code (see the attached letter from the applicant further explaining his rationale for the variance).

18.85.150 Setting hearings.

All applications for variances, or special use permits as provided in this title, shall be set for public hearing by the planning commission or board of adjustment. The date of the first hearing shall be not less than 30 days nor more than 45 days from the time of filing the application. [Ord. 94-06 § 1; prior code § 11-2-9.5]

The application was accepted by Staff as complete on May 28, 2019 (35 days prior to this hearing).

18.85.160 Notices.

Notice of time and place of public hearings for variance or special use permit may be given by posting one sign in front of the property and posting additional signs at 300-foot intervals for large properties with 600 feet or more frontage. The posted notice shall contain the heading “Notice of Proposed Variance,” “Special Permit” or “Notice of Proposed Special Permit,” in letters at least one inch in height. The notice shall also contain information about the location of the property, the proposed use and the time and place at which the public hearing will be held. All owners of property located within 100 feet radius of the external boundaries of the property shall be notified by registered mail. [Ord. 94-06 § 1; prior code § 11-2-9.6]

A sign meeting the requirements listed above was posted at the front of the property along Avenida de Mesilla. Additionally, there were ten separate property owners within 100 feet of the subject property (see attached notification map and letter) that were notified by Certified Mail of the variance request. (There have been no negative responses from any of the notified property owners.)

Impacts on the Surrounding Area:

It does not appear that the requested variance will result in any changes to the eventual use of the property, nor will it result in any negative impacts to the surrounding area.

Of the ten different property owners notified because they own property within one hundred feet of the properties involved in this variance (as required by Code Section 18.85.160 – Notices), there have been no negative responses to the request.

Required Findings (in addition to other possible Findings resulting from the Public Hearing):

- **The Board of Adjustments (BOA) has jurisdiction to hear this request.**
- **Notification requirements of the MTC have been met.**
- **The requested variance to sign code should be allowed by the MTC.**
- **Approval of the requested variance will not be detrimental to the Town of Mesilla.**
- **The requirements of the MTC have been met with respect to granting variances.**
- **Granting the variance will be consistent with the MTC.**
- **Approval of the requested variance will not be detrimental to the Town of Mesilla.**

Attached is a resolution that may be used by the BOA if it is determined that the requested variance meets the requirements for approval. If the request does not meet the requirements listed, or there are issues or negative Findings brought up during the Public Hearing that negatively affect approval, then the request may be denied and a new resolution addressing any such new findings will be drafted.

**BOARD OF ADJUSTMENT
ACTION FORM
JULY 2, 2019
CASE V19-002**

(Decision to be based on information presented by Staff and input from the Public Hearing)

V19-002: Submitted by Chris Schaefer; a request for a Variance to Chapter 18.65 (Signs) of the Mesilla Town Code to allow an off premises directory sign on a commercial property at the SE corner of Calle de Alvarez and Avenida de Mesilla (address to be assigned). Zoned: General Commercial (C)

Staff Analysis:

The proposed request was presented during the Public Hearing held earlier, as well as discussed during this meeting.

If it is determined that the proposed variance will be acceptable and will not result in negative impacts to the Town or the surrounding properties, the BOA should approve the request based on the Findings stated below.

If, on the other hand, it is determined that the proposed variance will not be acceptable, or will result in negative impacts to the Town or surrounding properties, and no other solution can be reached, then the BOA should either postpone the request further until the applicant can return with a proposal that meets the standards set forth by the BOA; or the BOA should deny the request based on the request not meeting any or all of the Findings as listed.

Consistency with the Code:

The BOA will need to determine that the proposed variance will be consistent with the Code for granting variances, as well as meeting the zoning requirements for this property.

Findings:

- The BOA has jurisdiction to review and approve this request.
- The BOA has determined that approval of the requested variance will meet the purpose of the Code.
- The BOA has determined that the proposed work meets all applicable Code requirements.

BOA OPTIONS:

1. Approve The variance as requested.
2. Approve the variance with conditions.
3. Reject the variance request.

BOA ACTION:



RESOLUTION NO. 2019-14

A RESOLUTION DECLARING SURPLUS PROPERTY TO BE NONESSENTIAL FOR GOVERNMENT FUNCTIONS TO BE SOLD PURSUANT TO NM STATE STATUTES

WHEREAS, the Board of Trustees of the Town of Mesilla finds surplus property to be nonessential for government functions; and

WHEREAS, pursuant to Section 3-54-2 of the New Mexico State Statutes, 1978, Annotated, the Town of Mesilla serves notice that the Town will hold a public auction in order to sell the items listed on Exhibit A.

NOW THEREFORE BE IT RESOLVED THAT:

- The Town of Mesilla may sell personal property having a value of more than two thousand five hundred dollars (\$2,500) at public or private sale. If a private sale is held under this subsection, such sale shall be held only after notice is published at least twice, pursuant to the provisions of Subsection J of Section 3-1-2 NMSA 1978, not less than seven days apart, with the last publication not less than fourteen days prior to the sale.
- If a public sale is held, the bid of the highest responsible bidder shall be accepted unless the terms of the bid do not meet the published terms and conditions of the municipality, in which event the highest bid which does meet the published terms and conditions shall be accepted; provided, however, a municipality may reject all bids. Terms and conditions for a proposed sale or lease shall be published at least twice, not less than seven days apart, with the last publication no less than fourteen days prior to the bid opening, and shall be published according to the provisions of Subsection J of Section 3-1-2 NMSA 1978.
- The Town of Mesilla may sell, at a private or public sale, exchange or donate real or personal property to the state, to any of its political subdivisions or to the federal government if such sale, exchange or gift is in the best interests of the public and is approved by the local government division of the department of finance and administration. The provisions of Section 6-6-11 NMSA 1978 shall not apply to such sale, exchange or a donation.

PASSED, APPROVED AND ADOPTED this 12th day of August 2019.

Nora L. Barraza
Mayor

ATTEST:

Cynthia Stoechner-Hernandez
Town Clerk-Treasurer

Exhibit A

VEHICLES

1997 Ford F-150 PU (PW Truck)

Minimum bid of \$1,550/will be listed on publicsurplus.com



MUNICIPAL CLERKS: PLEASE DISTRIBUTE COPIES TO YOUR ENTIRE GOVERNING BODY

TO: **MAYORS/GOVERNING BODY MEMBERS**
FROM: William F. Fulginiti, Executive Director
SUBJECT: **2019 ANNUAL CONFERENCE VOTING DELEGATES**
DATE: July 3, 2019

The 62nd Annual Conference of the NM Municipal League will be held August 28th through the 30th in Las Cruces.

At the Annual Business Meeting on Thursday, August 29th, a President Elect, Vice President, Treasurer and three Directors-at-Large for a 2-Year Term will be elected. Also, the *Annual Statement of Municipal Policy*, *Annual Resolutions*, and amendments to the *NMML Bylaws* will be adopted.

Each member municipality in good standing that is registered and attending the Annual Conference shall be entitled to one delegate vote in electing officers, deciding municipal policy and voting upon all other questions at the Annual Business Meeting. A municipality in good standing means that at least one-half of the municipality's current League annual dues must have been paid prior to or at the Conference. The vote of the municipality is cast by the Voting Delegate (or in her/his absence, the Alternate) who is selected by the governing body of the municipality.

The Annual Business Meeting will be conducted in accordance with Robert's Rules of Order Revised, and the Annual Business Meeting Rules and Procedures, which shall govern the actions and deliberations of the League membership assembled in convention. Attached for your information are the *Policy Process Outline and the Annual Business Meeting Rules and Procedures*.

Please place the selection of a Voting Delegate and Alternate on the agenda of your next official governing body meeting. **The Voting Delegate and Alternate must be persons planning to attend the Conference.** Once they are selected, enter the names and titles of the Voting Delegate and Alternate for your municipality and **return this form to the League Office no later than Wednesday, August 21, 2019.**

This is *not* an official registration form for the Annual Conference for either the Voting Delegate or the Alternate. Delegates must register for the Conference on the form provided in the Conference information you have already received.

Voting Delegates and Alternates must check in with NMML Staff at the Credential's Desk at Conference Registration.

Municipality: _____

Voting Delegate: _____ Title: _____

Alternate: _____ Title: _____

Approved By: _____

RETURN BY AUGUST 21, 2019 to:

Jackie Portillo, Support Services Coordinator
NM Municipal League
P.O. Box 846 - Santa Fe, NM 87504
jportillo@nmml.org
Fax: 505-984-1392

MEMORANDUM

TO: MAYOR NORA L. BARRAZA AND BOARD OF TRUSTEES
FROM: LARRY SHANNON, COMMUNITY DEVELOPMENT COORDINATOR
SUBJECT: ACTIVITY REPORT – JULY, 2019
DATE: AUGUST 6, 2019

PZHAC BUSINESS
JULY 2019
[Items presented to the PZHAC]

PZHAC WORK SESSION ITEMS:

Item 1: Submitted by Joseph W. Foster; a request to discuss plans to repair or replace existing courtyard walls, improve parking, repair or replace rotting window frames, replace an existing cinderblock wall along Calle de Guadalupe, and generally improve and upgrade the landscaping of the east and south sides of a commercial building at 2489/2461 Calle de Guadalupe. **(Cases 060923, 060924, 060925, 060926)** Zoned: Historical Commercial (HC)

Item 2: Submitted by Ashleigh and Jeff Curry; a request to discuss plans to construct a three-car garage as an addition to their existing dwelling on a property at 1626 West Union Avenue. **(Case 060927)** Zoned: Rural Farm (RF)

PZHAC ADMINISTRATIVE APPROVALS:

Building Permits

1. Case 060913 – 304 Capris Arc, submitted by Erus Energy for Francisco Holguin; a request for a zoning permit to allow the installation of photo-voltaic panels on a dwelling at this Address. Zoned: Residential, one acre lots (R-1)
2. Case 060914 – 2461 Calle de Principal, submitted by EMT Electric for Armando Torres; a request for a zoning permit to allow the replacement of an electric panel on a structure at this address. Zoned: Historical Commercial (HC)
3. Case 060916 – 2425 Calle de Santiago, submitted by Art Lucero; a request for a zoning permit to allow the reroof of a dwelling at this address. Zoned: Historical Residential (HR)
4. Case 060919 – 2461/2489 Calle Principal, submitted by Joseph W. Foster; a request for a zoning permit to allow the installation of a drywell and the grading of a parking area on a commercial property at these addresses. Zoned: Historical Residential (HR)
5. Case 060931 – 2225 Calle de Colon, submitted by Rosalia Martinez; a request for a zoning permit to reroof a dwelling at this address. Zoned: Historical Residential (HR)

PZHAC DECISION ITEMS:

1. Case 060918 – 1874 West Union Avenue, Arturo and Pedro Jurado; a request for a zoning permit to allow the installation of a loading dock on a commercial building at this address. Zoned: General Commercial (C)
2. Case 060920 – 2250 Calle de San Albino, submitted by Robert Hamilton, a zoning permit to allow the repainting of a dwelling at this address. Zoned: Historical Commercial (HC)
3. Case 060921 – 3116 Avenida de Mesilla, submitted by Norm Fristoe for LAMA Properties, LLC; a request for a zoning permit to allow the construction of a covered wooden porch over a patio at the rear of a dwelling at this address. Zoned: Residential Agricultural (RA)
4. Case 060922 – 3200 Estrada Road, submitted by Eric Liefeld a request for a zoning permit to construct a porch and a pergola over a patio at the front of a dwelling at this address. Zoned: Residential Agricultural (RA)

5. Case 060923 - 2461/2489 Calle Principal, submitted by Joseph W. Foster; a request for a zoning permit to allow the repair or replacement of the cinderblock wall around Ruby Sun Spa, and the widening of doorways in the wall at this address. Zoned: Historical Residential (HR) (This case was discussed during the Work Session – Part of Item 1)
6. Case 060924 - 2461/2489 Calle Principal, submitted by Joseph W. Foster; a request for a zoning permit to allow the repair or replacement of window frames in the building at this address. Zoned: Historical Residential (HR) (This case was discussed during the Work Session – Part of Item 1)
7. Case 060925 - 2461/2489 Calle Principal, submitted by Joseph W. Foster; a request for a zoning permit to allow the replacement of a two -foot high yard wall along Calle de Guadalupe on a property at these addresses. Zoned: Historical Residential (HR) (This case was discussed during the Work Session – Part of Item 1)
8. Case 060926 - 2461/2489 Calle Principal, submitted by Joseph W. Foster; a request for a zoning permit to allow landscaping on a commercial property at these addresses. Zoned: Historical Residential (HR) (This case was discussed during the Work Session – Part of Item 1)
9. Case 060927 – 1626 West Union Avenue, submitted by Ashleigh and Jeff Curry; a request for a zoning permit to construct a three-car garage as an addition to their existing dwelling on a property at this address. Zoned: Rural Farm (RF) (This case was discussed during the Work Session – Item 2)
10. Case 060932 – 2225 Calle de Colon, submitted by Rosalia Martinez; a request for a zoning permit to update windows and repaint a dwelling at this address. Zoned: Historical Residential (HR)
11. Case 060933 – 2004 West Union, submitted by Felix Armijo; a request for a zoning permit to allow the reroof of a large porch around the front and east side of a dwelling at this address. Zoned: Rural Farm (RF)

BUSINESS REGISTRATIONS

1. **Permit 0808** – 3301 Gandy Lane, submitted by Jessica M. White Cason for “Enchanted Earth Wellness”, a request for a business license to operate an office out of a dwelling at this address for a Health Coaching and Yoga instruction business. Zoned: Residential, one acre lots (R-1)
2. **Permit 0809** – 3301 Gandy Lane, submitted by Earl Cason for “Earl Cason Consulting”, a request for a business license to operate an office out of a dwelling at this address for a Life Coaching and Business consulting operation. Zoned: Residential, one acre lots (R-1)
3. **Permit 0810** – 2205 Calle de San Albino, submitted by Wendy Weir for “Agave Artists”, a request for a business license to operate an art gallery out of a former rental dwelling at this address. Zoned: Historic Commercial (HC)

SIGN PERMITS

1. **Sign Permit 060928** – 2411 Calle de San Albino, submitted by Shauna Martinez for “Truart of the Earth”; a request for a zoning permit install a wall sign at this address. Zoned: Historical Commercial (HC)
2. **Sign Permit 060929** – 2411 Calle de San Albino, submitted by Wendy Weir for “Agave Artists”, a request for a zoning permit to install a wall sign at this address. Zoned: Historical Commercial (HC)

If you have any questions, comments or concerns please feel free to call me at 524 -3262 ext. 104; or e-mail me at larrys@mesillanm.gov.

**Town of Mesilla Assessor's Report
JULY 2019**

Mesilla CASE #	DAC ACC'T #	APPL. DATE	ISSUEE/CONTRACTOR	VALUATION / COST	FEE	BLDG CODE	ADDRESS	DESCRIPTION OF WORK
060930	04-01179	7/1/19	Paul D.G. Miller	N/A	310.00	VAR	SEW corner of Avenida de Mesilla/Calle de Alvarez	Variance to sign code to allow off-premises directory sign
060931	04-00147	7/8/19	Rosalia Martinez/Self	1,800.00	12.90	RR	2225 Calle de Colon	Reroof a dwelling at this address
060932	04-00147	7/8/19	Rosalia Martinez/Self	1,000.00	58.00	MI	2225 Calle de Colon	Repainting dwelling at this address
060933	04-00704	7/8/19	Felix Armijo/Self	6,100.00	120.00	RR	2004 West Union	Reroof a porch that runs along two sides of a dwelling at this address
060934	04-00441	7/15/19	William & Stephan Mclvaine/Self	50.00	0.00	MI	2685 Calle de Parian	Repaint four exterior doors on a dwelling at this address
060935	04-00299	6/22/19	Teresa Sanchez/Sun Vista Construction	250.00	0.00	MI	2220 Calle de Parian	Repair a sidewalk in front of a dwelling at this address
060936	04-01209	7/11/19	Joseph Foster/TBD	5,000.00	18.00	ADN	2461 Calle de Principal	Add a pergola to a commercial structure at this address
060937	04-00828	7/27/19	Wiley Thompson	21,915.00	43.50	RR	298 Capri Road	Reroof a dwelling at this address.
060938	04-00480	7/23/19	Cecilia Quintana & Page Coleman/Mesilla Valley Consultants	20,000.00	250.00	MI	2424 Calle de Parian	Build a rock wall around two sides of the property at this address
060939	04-00414	7/23/19	Hilary McDaniel/Organ Mountain Solar & Electric	6,935.00	21.00	MI	2218 Calle del Oeste	Install solar panels on a dwelling at this address
060940	04-00749 04-00751	7/23/19	Suzanne M. Brannon for Joseph W. Rogers	N/A	150.00	SUB	306 Capri Arc	Eliminate a lot line to combine to properties
060941	04-00172	7/23/19	Michael Radtke	4,200.00	18.00	RR	2122 Calle de Los Huertos	Reroof a dwelling at this address
060942	04-00319	7/30/19	Felix Armijo/Self	7,500.00	22.50	ADN	2410 Calle de Parian	Add an extension to a commercial structure to house a walk-in refrigerator and freezer
060943	04-00923	7/30/19	Justin Bannister/Pools by Design	64,000.00	106.50	SP	2920 Camino Castillo	Construction of an in-ground swimming pool at this address
060944	04-00582	7/29/19	Theodore Calhoun/ViCaOne Inc. (Patrick Vigil)	212,500.00	330.00	NR	2630 Calle Segunda	Build a new dwelling at this address
060945	04-00299	7/31/19	Teresa Sanchez/Sun Vista Construction	800.00	54.00	MI	2231 Calle de Parian	Repair and repaint gates to match new color of house and exterior wall
060946	04-00386	7/1/19	Sylvia J. & David B. Fierro	N/A	350.00	ZONE	1985 Calle de Colon	Zone Change from Historic Residential (HR) to Historic Commercial (HC) for this property
060947	04-01104	7/5/19	Velia S. Chavez	N/A	350.00	ZONE	2600 Avenida de Mesilla	Zone Change from Historic Residential (HR) to Historic Commercial (HC) for this property

Community Projects Report

Project	Description
Current Contact information	Dorothy Sellers Email: DorothyS@mesillanm.gov Work: 575-524-3262 Cell:575-571-3890
Diez y Seis de Septiembre Fiesta	Talent has been booked. I continue to receive applications from vendors for the fiesta. Currently there are nine vendor positions still available. Once the schedule is confirmed, posters will be distributed throughout the community and posted on social media.
Mesilla's CoOp Marketing Grant	Permission has been granted to utilize local talent for the creation of the video portion of the grant resulting in a greater number of videos to be produced at a lower cost. Working on storyboard concepts for each video.
Halloween Haunted House	I have begun initial plans for this years Haunted house event including inventory of available supplies to cut costs.
Clean & Beautiful Grant	Funds in the amount of \$14,350 were awarded. The funds will be used for new litter and recycling receptacles, sprinkler system, trees, picnic tables, and outdoor community informational centers.
Mariachi Sundays	Las Cruces International Mariachi conference will hold two Mariachi Sundays on Sept. 22 and Oct. 27. Sponsorship of \$1000 has been processed.
Friends of the Organ Mountains-Desert Peaks	A film festival will be held Sept. 27th by the Friends of the Organ Mountains-Desert Peaks. Sponsorship of \$1000 has been processed.
Summer Recreation Program	Summer Recreation Program has concluded for the 2019 year. Positive feedback was received from both staff and children. Will begin actively seeking donations of craft supplies and field trip sponsors for next year.



MEMORANDUM

To: Mayor and Trustees

From: Cynthia Stoechner-Hernandez
Town Clerk-Treasurer *CSH*

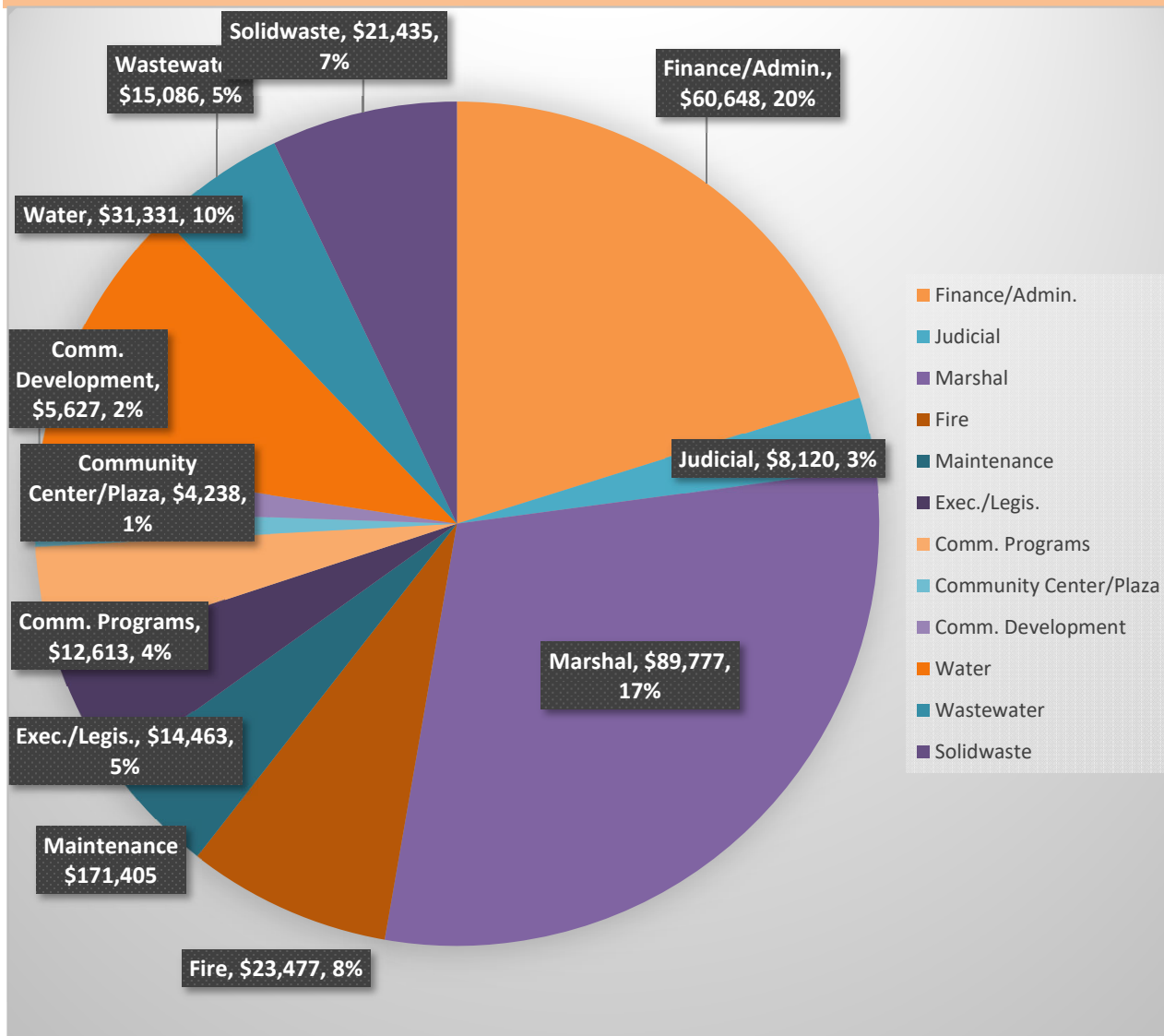
RE: Monthly Finance Report

Listed below is a review of department and fund expenditures for: **JULY**
General Fund should be at: **8.33% spending**

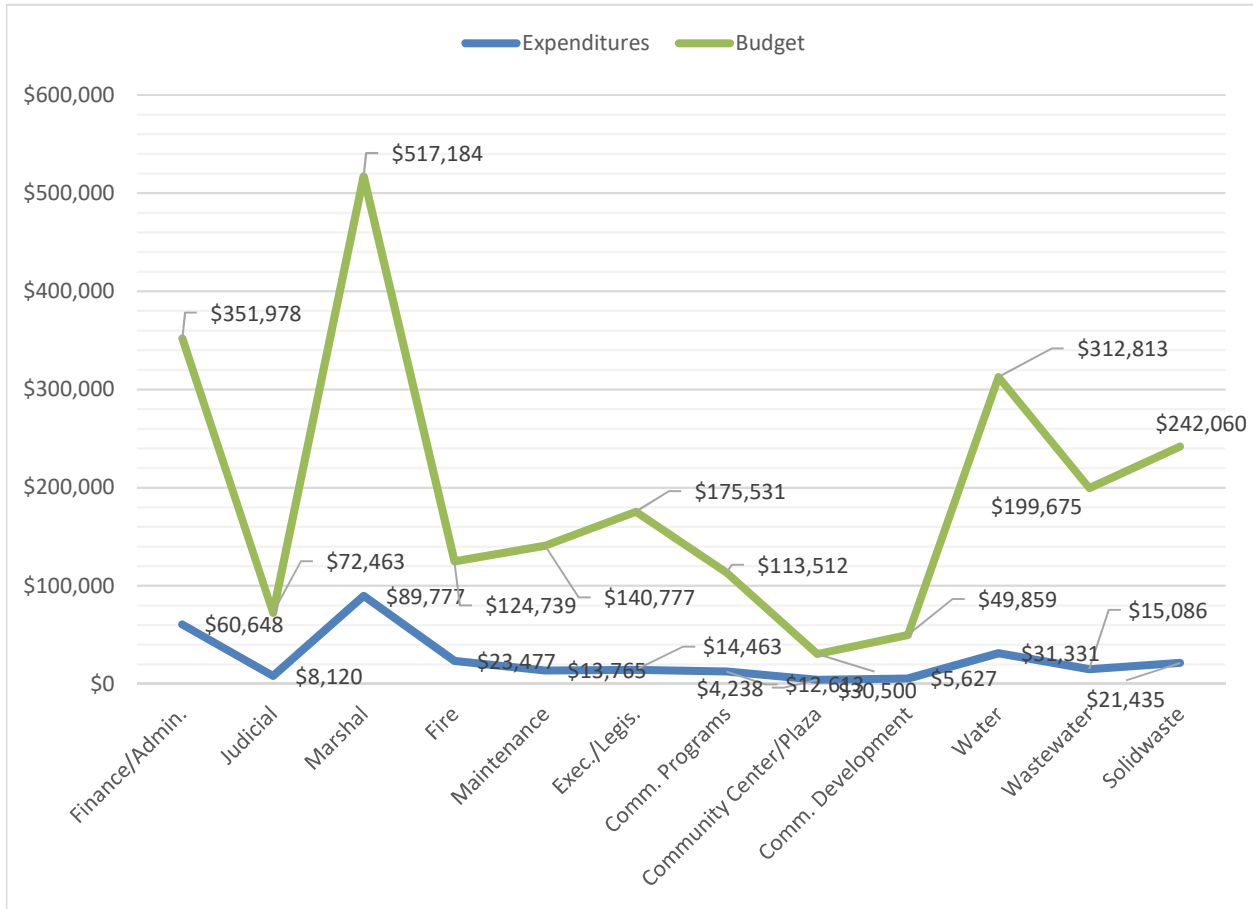
****spending is a little high this month due to paying of 1/2 of insurances (July 1st 1/2 due, January 1st the other 1/2 is due). This will even out in the next few months**

YTD EXPENDITURES	%Exp.	\$ Money YTD	Mo.%	YTD % over/under	Approved Budget
Finance/Admin.	17.23%	\$60,648	100.00%	-82.77%	\$ 351,978
Judicial	11.21%	\$8,120	100.00%	-88.79%	\$ 72,463
Marshal	17.36%	\$89,777	100.00%	-82.64%	\$ 517,184
Fire	18.82%	\$23,477	100.00%	-81.18%	\$ 124,739
Maintenance	9.78%	\$13,765	100.00%	-90.22%	\$ 140,777
Exec./Legis.	8.24%	\$14,463	100.00%	-91.76%	\$ 175,531
Comm. Programs	11.11%	\$12,613	100.00%	-88.89%	\$ 113,512
Community Center/Plaza	13.90%	\$4,238	100.00%	-86.10%	\$ 30,500
Comm. Development	11.29%	\$5,627	100.00%	-88.71%	\$ 49,859
General Fund	14.76%	\$232,729	100.00%	-85.24%	\$ 1,576,543
Water	10.02%	\$31,331	100.00%	-89.98%	\$ 312,813
Wastewater	7.56%	\$15,086	100.00%	-92.44%	\$ 199,675
Solidwaste	8.86%	\$21,435	100.00%	-91.14%	\$ 242,060
Enterprise Fund	8.39%	\$67,851	100.00%	-91.61%	\$ 808,548

EXPENDITURES



EXPENDITURES VS BUDGET

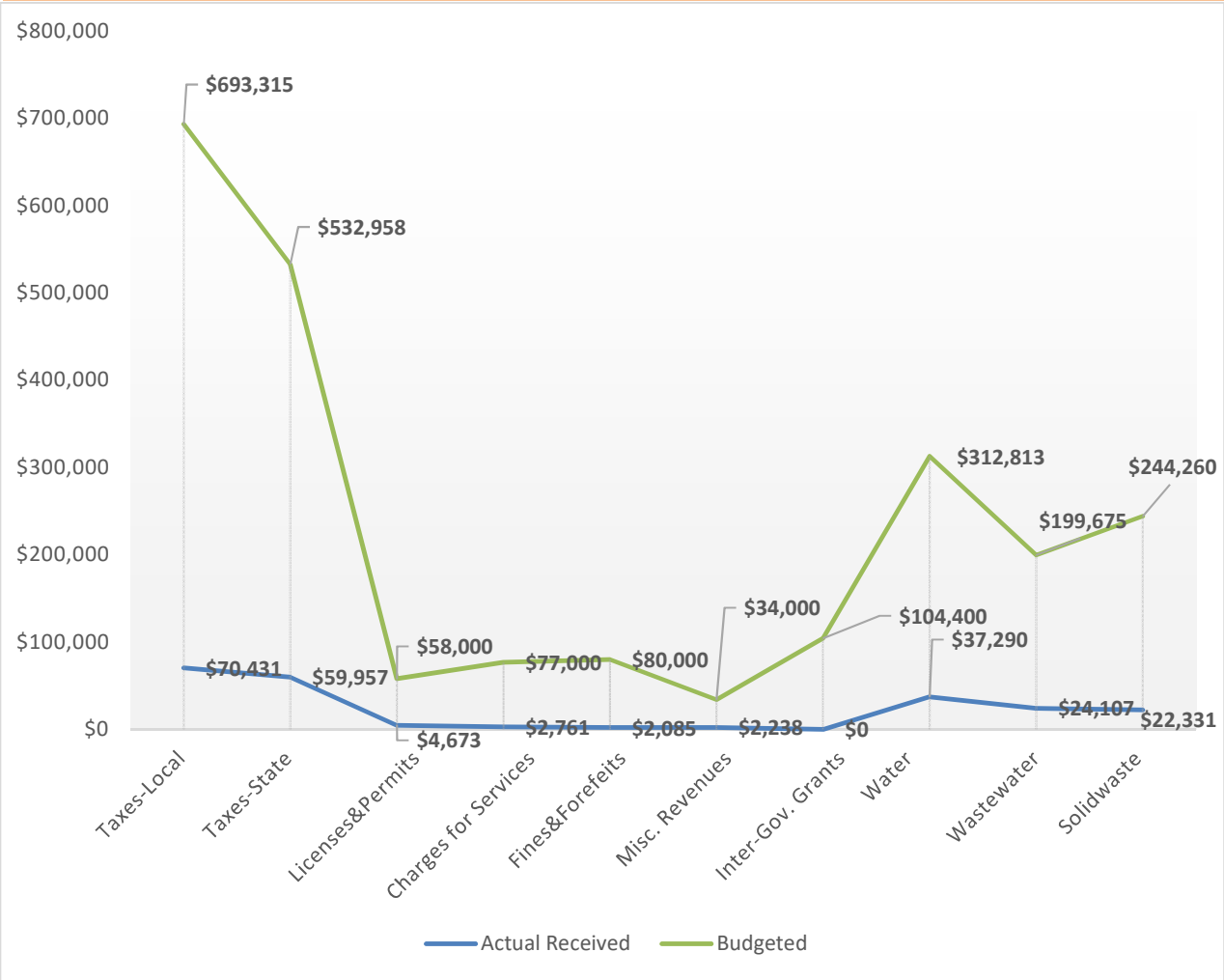


Please request the INCODE report for detail revenues and expenses by fund.

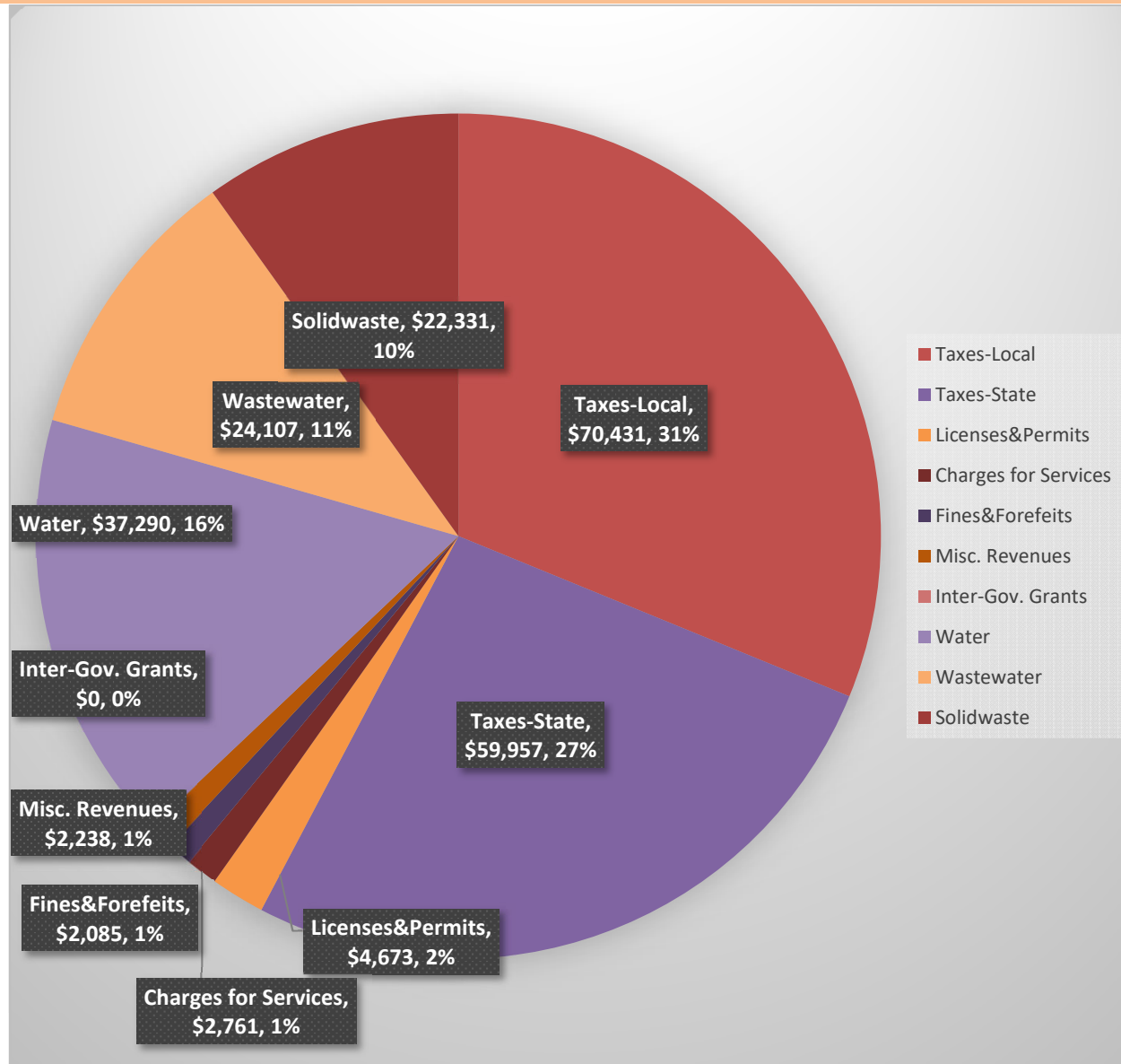
REVENUE

YTD REVENUES	% Rec.	YTD Money \$	% Est.	YTD % over/under	AMOUNT BUDGETED
Taxes-Local	10.16%	\$70,431	100.00%	-89.84%	\$693,315
Taxes-State	11.25%	\$59,957	100.00%	-88.75%	\$532,958
Licenses&Permits	8.06%	\$4,673	100.00%	-91.94%	\$58,000
Charges for Service	3.59%	\$2,761	100.00%	-96.41%	\$77,000
Fines&Forefeits	2.61%	\$2,085	100.00%	-97.39%	\$80,000
Misc. Revenues	6.58%	\$2,238	100.00%	-93.42%	\$34,000
Inter-Gov. Grants	0.00%	\$0	100.00%	-100.00%	\$104,400
General Fund	9.00%	\$142,145	100.00%	-91.00%	\$1,579,673
Water	11.92%	\$37,290	100.00%	-88.08%	\$ 312,813
Wastewater	12.07%	\$24,107	100.00%	-87.93%	\$ 199,675
Solidwaste	9.14%	\$22,331	100.00%	-90.86%	\$ 244,260
Enterprise Fund	11.06%	\$83,728	100.00%	-88.94%	\$756,748

REVENUE vs BUDGET

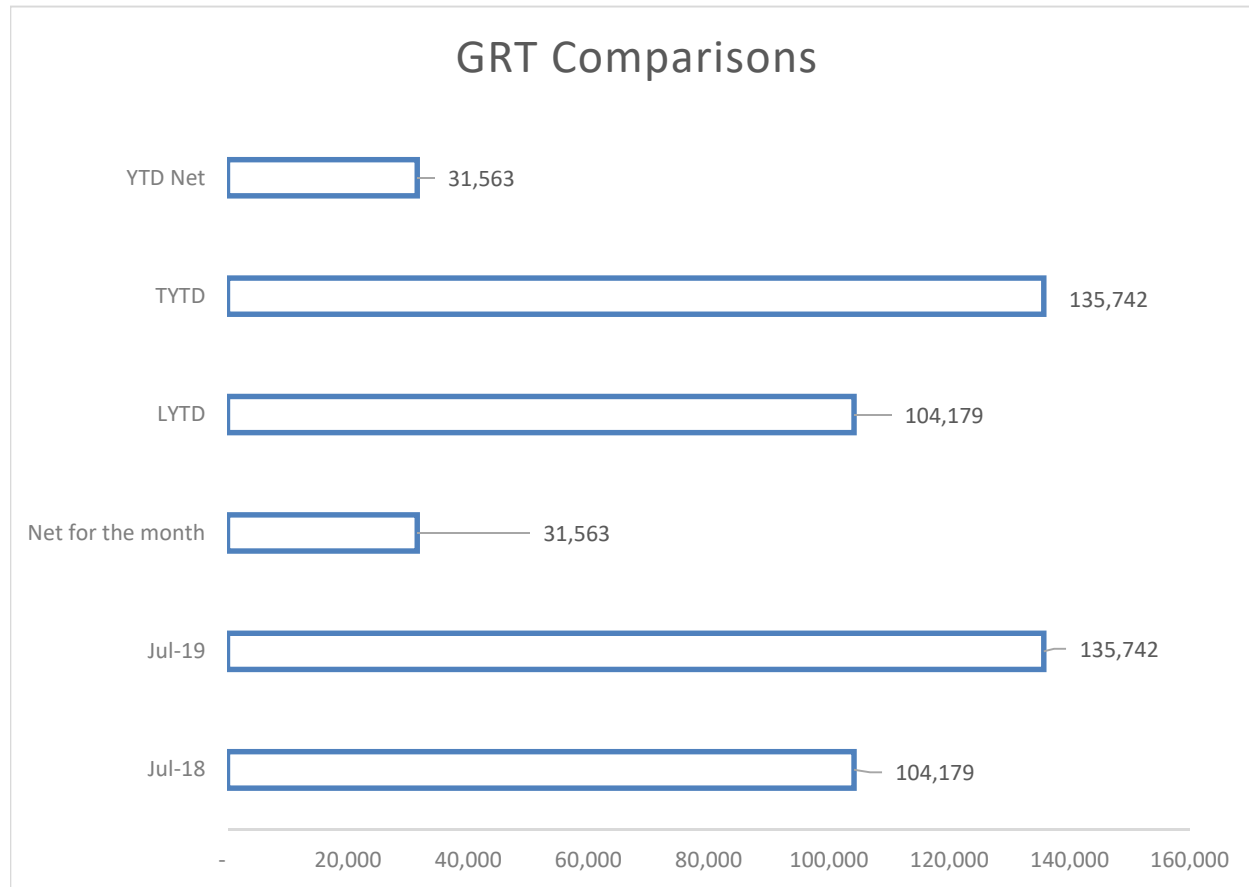


YTD REVENUES



GRT COMPARISONS

Jul-18	Jul-19	Net for the month	LYTD	TYTD	YTD Net
104,179	135,742	31,563	104,179	135,742	31,563



Business GRT in May 2019

Percentage by month	30%	Percentage over last FYTD	30%
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TOWN OF MESILLA FIRE DEPARTMENT
MONTHLY BOT REPORT



DATE: July, 2019

MAJOR ADDITIONS TO INVENTORY

NONE

MAINTENANCE OF EQUIPMENT

Seatbelt repaired in Engine 32, Bodywork partially completed on Battalion 31, awaiting grill guard. 2 cut saws repaired after starting issues. 4-gas detectors calibrated, no issues noted. Cooling system flushed in Battalion 31 due to contamination, no damage occurred. Turnout gear inventoried in preparation for repairs and replacement.

COMMENTS

July 4th events went off without incident. Eleven code issues were addressed during the July 4th celebrations by residents and visitors. Two small fires occurred which were quickly addressed by on-duty volunteer staff. Training continues for our current cadet class with more applications for volunteers arriving weekly. Loan closeout for the new engine is expected to close August 2. Staff is preparing for a new round of grant applications beginning in August. A water day was held for Mesilla ES summer class which doubles as water monitor training for fire personnel.

SUBMITTED BY

Fire Chief Kevin Hoban _____

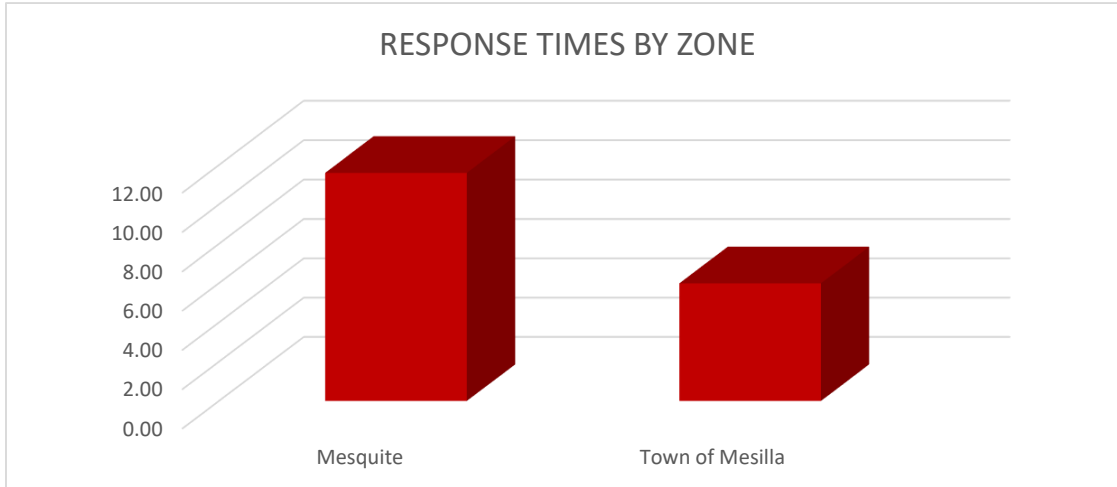
Mesilla Fire Department

Mesilla, NM

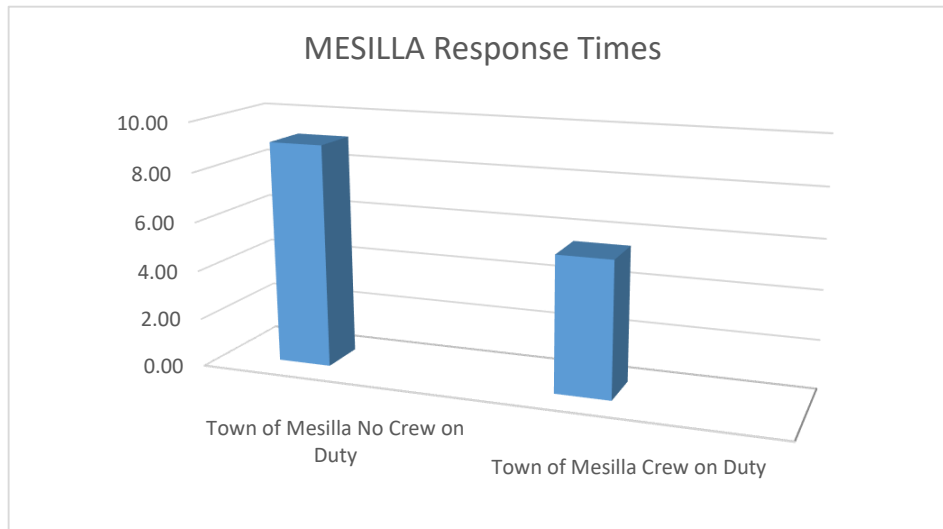
This report was generated on 08/03/2019



Response Mode: Lights and Sirens | Start Date: 07/01/2019 | End Date:07/31/2019



Zone	AVERAGE RESPONSE TIME (in minutes)
Mesquite	11.60
Town of Mesilla	5.99
Town of Mesilla No Crew on Duty	9.09
Town of Mesilla Crew on Duty	5.53



Only REVIEWED incidents included. Response Time is Dispatched to Arrived.

Mesilla Fire Department

Mesilla, NM

This report was generated on 8/3/2019 3:36:00 AM



Events per Event Type for Date Range (Landscape)

Start Date: 07/01/2019 | End Date: 07/31/2019

EVENT TYPE	DATE	EVENT NAME	CATEGORY	LOCATION	HOURS	PARTICIPANTS
On Call Duty Officer						
	07/01/2019	On Call Duty Officer	Shifts	On call, Battalion 31	16	Kevin Hoban
	07/02/2019	On Call	Shifts		16	Kevin Hoban
	07/03/2019	On Call	Shifts	Bat 31	16	Kevin Hoban
	07/05/2019	On Call	Shifts	Bat 31	16	Kevin Hoban
	07/06/2019	On Call	Shifts	Bat 31	24	Kevin Hoban
	07/07/2019	On Call	Administrative	Town of Mesilla	24	Kevin Hoban
	07/08/2019	On Call	Administrative	Town of Mesilla	16	Kevin Hoban
	07/09/2019	On Call	Administrative	Town of Mesilla	16	Kevin Hoban
	07/11/2019	On Call	Administrative	Town of Mesilla	16	Kevin Hoban
	07/18/2019	BC32 On Call	Shifts	Mesilla District 31	14	Chad Zecha
	07/21/2019	On Call	Administrative	Town of Mesilla	11	Kevin Hoban
	07/22/2019	On Call	Administrative	Town of Mesilla	16	Kevin Hoban

Only LOCKED events included.

EVENT TYPE	DATE	EVENT NAME	CATEGORY	LOCATION	HOURS	PARTICIPANTS
	07/24/2019	On Call	Administrative	Town of Mesilla	16	Kevin Hoban
	07/29/2019	On call	Administrative	Town of Mesilla	16	Kevin Hoban
	07/30/2019	On Call	Administrative	Town of Mesilla	16	Kevin Hoban
	07/31/2019	On Call	Administrative	Town of Mesilla	16	Kevin Hoban

Total Hours for On Call Duty Officer: 265

24 hr Operations Shift						
	07/01/2019	A Shift	Shifts	Station 31	24	Manuel Felix, Humberto Manriquez, Thomas Montoya, Laura Orrantia, Dylan Thunhorst
	07/19/2019	A shift	Shifts	Town of Mesilla Fire House 31	12	John Chavez, Manuel Felix, Thomas Montoya, Nicolas Navarro

Total Hours for 24 hr Operations Shift: 36

Administration Shift						
	07/02/2019	Admin. Shift	Administrative	Mesilla Fire Station 31	9	Chad Zecha
	07/09/2019	Admin. Shift	Administrative	Mesilla Fire Station 31	9	Chad Zecha
	07/15/2019	Admin. Shift	Administrative	Mesilla Fire Station 31	9	Chad Zecha
	07/18/2019	Admin. Shift	Administrative	Mesilla Fire Station 31	12	Chad Zecha

Total Hours for Administration Shift: 39

Daily Operations Shift						
	07/04/2019	A Shift	Shifts	Mesilla Fire Dept	14	Humberto Manriquez, Mateo Martinez

Only LOCKED events included.

EVENT TYPE	DATE	EVENT NAME	CATEGORY	LOCATION	HOURS	PARTICIPANTS
	07/04/2019	Prep for standby	Shifts		4	Crystal Davis-Whited, Gregory Whited
	07/10/2019	A Shift	Shifts	Mesilla Fire House 31	22	John Chavez, Manuel Felix, Thomas Montoya, Laura Orrantia, Dylan Thunhorst
	07/26/2019	B-Shift	Shifts	Firehouse 31	10	Sonny Gomez, Nicolas Navarro, Dylan Thunhorst

Total Hours for Daily Operations Shift: 50

Special Assignment						
	07/04/2019	Fourth of July standby	Stand By, Other	Fireworks display.	8	Ariel Caro, John Chavez, Crystal Davis-Whited, Evert Garibay, Alexandra Gaytan, Sonny Gomez, Phillip Guzman, Kevin Hoban, Sebastian Linares, Mateo Martinez, Thomas Montoya, Laura Orrantia, Zachary Porter, Jennifer Sinclair, Dylan Thunhorst, Austin Tucker, Gregory Whited, Chad Zecha

Total Hours for Special Assignment: 8

Evening Operations Shift						
	07/07/2019	A-Shift	Shifts	Firehouse-31	12	Anthony Martinez Jr. , Thomas Montoya, Nicolas Navarro, Laura Orrantia, Dylan Thunhorst
	07/20/2019	B-Shift	Shifts	Firehouse-31	14	Trevor Frieze, Alexandra Gaytan, Nicolas Navarro
	07/29/2019	B-shift	Shifts	Fire House 31	14	Alexandra Gaytan, Phillip Guzman, Sebastian Linares, Francisco Lopez, Nicolas Navarro, Cavin Roberson

Total Hours for Evening Operations Shift: 40

Only LOCKED events included.

EVENT TYPE	DATE	EVENT NAME	CATEGORY	LOCATION	HOURS	PARTICIPANTS
Police Assist						
	07/10/2019	On Call	Administrative	Town of Mesilla	16	Kevin Hoban
	07/23/2019	On Call	Administrative	Town of Mesilla	16	Kevin Hoban

Total Hours for Police Assist: 32

Prevention Division Shift						
	07/11/2019	Inspections	Prevention Event	Mesilla	7	Gregory Whited
	07/18/2019	Inspections	Prevention Event	Mesilla	9	Gregory Whited
	07/25/2019	On Call	Administrative	Town of Mesilla	16	Kevin Hoban
	07/25/2019	Inspections	Prevention Event	Town of Mesilla	8	Gregory Whited

Total Hours for Prevention Division Shift: 40

Only LOCKED events included.

Mesilla Fire Department

Mesilla, NM

This report was generated on 8/3/2019 3:32:37 AM



Incident Statistics

Start Date: 07/01/2019 | End Date: 07/31/2019

INCIDENT COUNT			
INCIDENT TYPE		# INCIDENTS	
EMS		12	
FIRE		37	
TOTAL		49	
TOTAL TRANSPORTS (N2 and N3)			
APPARATUS	# of APPARATUS TRANSPORTS	# of PATIENT TRANSPORTS	TOTAL # of PATIENT CONTACTS
BC32	1	1	1
Br31	0	2	2
E31	0	3	3
SQ32	1	1	1
TOTAL	2	7	7
PRE-INCIDENT VALUE		LOSSES	
\$0.00		\$0.00	
CO CHECKS			
424 - Carbon monoxide incident		1	
TOTAL		1	
MUTUAL AID			
Aid Type		Total	
Aid Given		11	
Aid Received		7	
OVERLAPPING CALLS			
# OVERLAPPING		% OVERLAPPING	
10		20.41	
LIGHTS AND SIREN - AVERAGE RESPONSE TIME (Dispatch to Arrival)			
Station	EMS	FIRE	
Mesilla Fire Main Station 31	0:06:58	0:05:51	
AVERAGE FOR ALL CALLS		0:06:41	
LIGHTS AND SIREN - AVERAGE TURNOUT TIME (Dispatch to Enroute)			
Station	EMS	FIRE	
Mesilla Fire Main Station 31	0:01:21	0:01:43	
AVERAGE FOR ALL CALLS		0:01:27	
AGENCY		AVERAGE TIME ON SCENE (MM:SS)	
Mesilla Fire Department		16:03	

Only Reviewed Incidents included. CO Checks only includes Incident Types: 424, 736 and 734. # Apparatus Transports = # of incidents where apparatus transported. # Patient Transports = # of PCR with disposition "Treated, Transported by EMS". # Patient Contacts = # of PCR contacted by apparatus. This report now returns both NEMSIS 2 & 3 data as appropriate.

Mesilla Fire Department

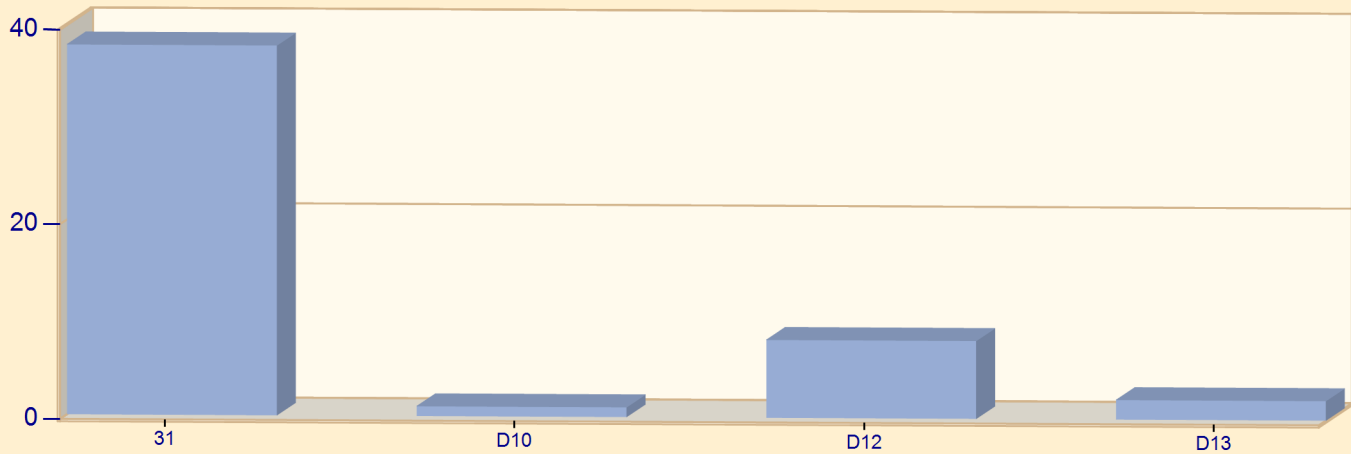
Mesilla, NM

This report was generated on 8/3/2019 3:34:17 AM



Incident Type Count per Zone for Date Range

Start Date: 07/01/2019 | End Date: 07/31/2019



ZONES	INCIDENT TYPE	COUNT
31 - Town of Mesilla		
	151 - Outside rubbish, trash or waste fire	1
	311 - Medical assist, assist EMS crew	2
	321 - EMS call, excluding vehicle accident with injury	7
	381 - Rescue or EMS standby	1
	412 - Gas leak (natural gas or LPG)	1
	424 - Carbon monoxide incident	1
	440 - Electrical wiring/equipment problem, other	2
	444 - Power line down	3
	511 - Lock-out	2
	611 - Dispatched & cancelled en route	1
	721 - Bomb scare - no bomb	1
	733 - Smoke detector activation due to malfunction	1
	745 - Alarm system activation, no fire - unintentional	2
	900 - Special type of incident, other	11
	911 - Citizen complaint	2
	<i>Total Incidents for 31 - Town of Mesilla:</i>	38
D10 - Mesquite		
	321 - EMS call, excluding vehicle accident with injury	1
	<i>Total Incidents for D10 - Mesquite:</i>	1
D12 - Fairacres		

Zone information is defined on the Basic Info 3 screen of an incident.
Only REVIEWED incidents included.

ZONES	INCIDENT TYPE	COUNT
	322 - Motor vehicle accident with injuries	1
	561 - Unauthorized burning	1
	611 - Dispatched & cancelled en route	6
	<i>Total Incidents for D12 - Fairacres:</i>	8
D13 - South Valley		
	412 - Gas leak (natural gas or LPG)	1
	611 - Dispatched & cancelled en route	1
	<i>Total Incidents for D13 - South Valley:</i>	2
Total Count for all Zone:		49

Zone information is defined on the Basic Info 3 screen of an incident.
Only REVIEWED incidents included.

Mesilla Fire Department

Mesilla, NM

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Occupancies Inspected for Date Range

Start Date: 07/01/2019 | End Date: 07/31/2019

OCCUPANCY	ID	ADDRESS	ZONE	LAST INSPECTION
Adobe:modern		2410 Calle de principal		07/25/2019
adventure travel		2340 Avenida de Mesilla		07/25/2019
Billy The Kid Gift Shop		2385 Calle De Guadalupe		07/11/2019
Cafe De Mesilla		2190 Avenida De Mesilla		07/11/2019
Carter Bain		1701 Calle De Mercado #5		07/18/2019
Cheeky Chaps LLC		2521 Avenida de Mesilla #E		07/11/2019
Cheeky Chicks		2521 Avenida de Mesilla #C		07/11/2019
Don felix		2290 Calle De Parian #D		07/11/2019
dry point distillers		1680 Calle de Alvarez #c2		07/19/2019
Enchanted beauty salon		1680 Calle de Alvarez #C		07/11/2019
Galeria on the Plaza		2310 Calle De Principal		07/18/2019
Hair and Body Shop		2222 Avenida de Mesilla		07/11/2019
Health Care Solutions		1680 Calle de Alvarez #B		07/11/2019
Josefina's Old Gate		2261 Calle De Guadalupe		07/11/2019
Kneading to Heal		2222 Avenida de mesilla		07/11/2019
Mesilla Post Office		2253 Calle De Parian		07/25/2019
NM Vintage Market		2310 Avenida De Mesilla		07/18/2019
office suites		1680 Calle de Alvarez #a		07/11/2019
old barrel tea and spice co.		2319 Calle de santiago		07/25/2019
Old Mesilla Kennels		3036 Avenida De Mesilla		07/18/2019
Palacio Bar		2600 Avenida De Mesilla		07/25/2019
pi pilates		2521 Avenida de Mesilla #D		07/11/2019
Salon de Mesilla, LLC		2172 Calle de Santiago		07/25/2019
Shorty's Grill Express		2920 Avenida De Mesilla		07/18/2019
Silver Assets		1948 Calle De Santiago		07/25/2019
Silver Studio		2309 Calle De Guadalupe		07/18/2019
Spa-ology	003	1799 Avenida de Mesilla		07/18/2019
spotted dog brewery		2920 Avenida de Mesilla #b		07/18/2019
Starah's Jewels		2365 Calle de guadalupe		07/11/2019
Steinborn &Associates Real Estate		1885 Boutz		07/18/2019
Thai Delight	07	2184 Avenida De Mesilla		07/25/2019
The Bean Cafe, LLC		2011 Avenida De Mesilla		07/18/2019
The Potteries		2260 Calle De Santiago		07/25/2019
The Spotted Dog Brewery LLC		2900 Avenida de Mesilla #A		07/18/2019
Tindal and son		2531 Avenida de Mesilla		07/04/2019
Tis The Season De Mesilla		2402 Avenida De Mesilla		07/25/2019
TruArt of the Earth		2411 Calle de San albino		07/25/2019

Included occupancies are those that have a LOCKED inspection on record for the date range provided.



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OCCUPANCY	ID	ADDRESS	ZONE	LAST INSPECTION
Vacant		1680 Calle De Alvarez #D		07/11/2019
VACANT		2226 Calle de Guadalupe #B		07/25/2019
Valley Plumbing		2800 Avenida De Mesilla		07/25/2019
Vintage Wine Shiop		2461 Calle De Principal		07/25/2019

of Occupancies Inspected: 41

% Occupancies Inspected: 19.62

Included occupancies are those that have a LOCKED inspection on record for the date range provided.



Mesilla Fire Department

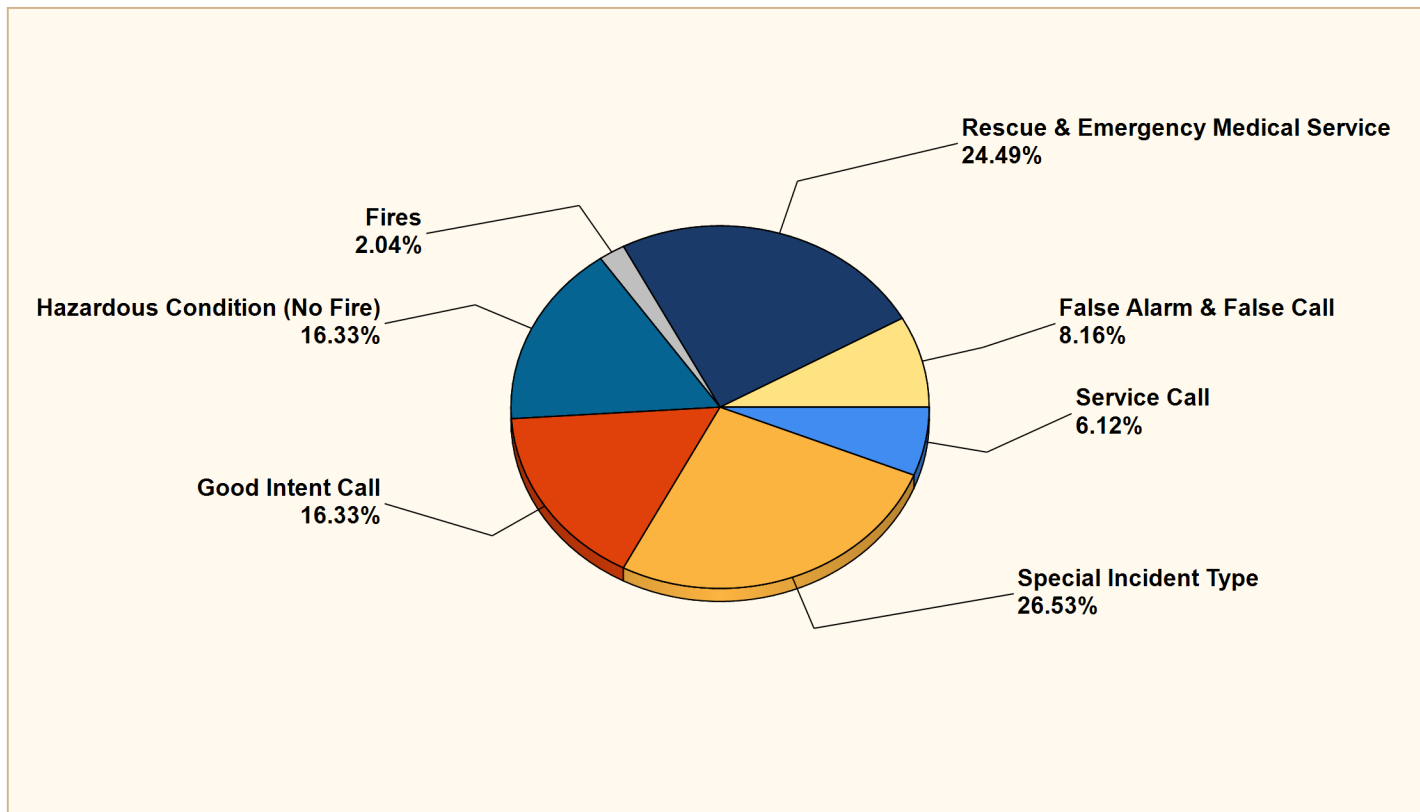
Mesilla, NM

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Breakdown by Major Incident Types for Date Range

Zone(s): All Zones | Start Date: 07/01/2019 | End Date: 07/31/2019



MAJOR INCIDENT TYPE	# INCIDENTS	% of TOTAL
Fires	1	2.04%
Rescue & Emergency Medical Service	12	24.49%
Hazardous Condition (No Fire)	8	16.33%
Service Call	3	6.12%
Good Intent Call	8	16.33%
False Alarm & False Call	4	8.16%
Special Incident Type	13	26.53%
TOTAL	49	100.00%

Only REVIEWED incidents included. Summary results for a major incident type are not displayed if the count is zero.

Detailed Breakdown by Incident Type

INCIDENT TYPE	# INCIDENTS	% of TOTAL
151 - Outside rubbish, trash or waste fire	1	2.04%
311 - Medical assist, assist EMS crew	2	4.08%
321 - EMS call, excluding vehicle accident with injury	8	16.33%
322 - Motor vehicle accident with injuries	1	2.04%
381 - Rescue or EMS standby	1	2.04%
412 - Gas leak (natural gas or LPG)	2	4.08%
424 - Carbon monoxide incident	1	2.04%
440 - Electrical wiring/equipment problem, other	2	4.08%
444 - Power line down	3	6.12%
511 - Lock-out	2	4.08%
561 - Unauthorized burning	1	2.04%
611 - Dispatched & cancelled en route	8	16.33%
721 - Bomb scare - no bomb	1	2.04%
733 - Smoke detector activation due to malfunction	1	2.04%
745 - Alarm system activation, no fire - unintentional	2	4.08%
900 - Special type of incident, other	11	22.45%
911 - Citizen complaint	2	4.08%
TOTAL INCIDENTS:	49	100.00%

Only REVIEWED incidents included. Summary results for a major incident type are not displayed if the count is zero.

Mesilla Fire Department

Mesilla, NM

This report was generated on 8/3/2019 3:31:32 AM



Response Activity Report

Start Date: 07/01/2019 | End Date: 07/31/2019

INCIDENT #	DATE	ALARM TIME	ARRIVE TIME	RESPONSE TIME	ADDRESS
151 - Outside rubbish, trash or waste fire					
2019-0000230	2019/07/04	22:23:08	22:28:46	00:05:38	Calle de Alvarez
Subtotal Count: 1		Average Response Time for Incident Type: 00:05:38			
311 - Medical assist, assist EMS crew					
2019-0000237	2019/07/06	19:52:41	20:02:01	00:09:20	2927 La Mesilla CIR
Subtotal Count: 1		Average Response Time for Incident Type: 00:09:20			
321 - EMS call, excluding vehicle accident with injury					
2019-0000217	2019/07/03	16:21:25	16:39:23	00:17:58	320 White Opal RD
2019-0000234	2019/07/05	01:07:00	01:16:09	00:09:09	1827 Snow RD
2019-0000241	2019/07/10	18:51:50	18:56:00	00:04:10	3075 Los Arenales ST
2019-0000244	2019/07/13	00:22:29	00:30:15	00:07:46	320 W University AVE
2019-0000255	2019/07/20	06:36:59	06:43:00	00:06:01	2320 Calle de Santa Ana
2019-0000261	2019/07/25	02:05:23	02:18:01	00:12:38	2300 W Union AVE
2019-0000263	2019/07/31	09:57:28	10:03:40	00:06:12	313 Capri Arc
Subtotal Count: 7		Average Response Time for Incident Type: 00:08:41			
322 - Motor vehicle accident with injuries					
2019-0000240	2019/07/10	03:53:31	04:22:58	00:29:27	112 Interstate 10
Subtotal Count: 1		Average Response Time for Incident Type: 00:29:27			
381 - Rescue or EMS standby					
2019-0000252	2019/07/19	01:04:42	01:10:50	00:06:08	2171 Calle de Parian
Subtotal Count: 1		Average Response Time for Incident Type: 00:06:08			
412 - Gas leak (natural gas or LPG)					
2019-0000262	2019/07/27	22:26:40	22:35:26	00:08:46	3398 Apple Cross PL
Subtotal Count: 1		Average Response Time for Incident Type: 00:08:46			
424 - Carbon monoxide incident					
2019-0000219	2019/07/04	14:30:27	14:33:01	00:02:34	2631 Calle Tercera
Subtotal Count: 1		Average Response Time for Incident Type: 00:02:34			
440 - Electrical wiring/equipment problem, other					
2019-0000215	2019/07/02	16:08:14	16:20:00	00:11:46	2500 Calle de Colon
2019-0000259	2019/07/23	09:44:46	09:53:12	00:08:26	2800 Calle de Principal
Subtotal Count: 2		Average Response Time for Incident Type: 00:10:06			
444 - Power line down					
2019-0000235	2019/07/05	07:02:00	07:10:18	00:08:18	1717 Boutz RD
2019-0000238	2019/07/07	11:40:12	11:55:07	00:14:55	1715 W Boutz RD
2019-0000258	2019/07/22	09:56:29	10:05:08	00:08:39	2453 Calle de Parian
Subtotal Count: 3		Average Response Time for Incident Type: 00:10:02			
511 - Lock-out					
2019-0000218	2019/07/03	17:12:10	17:17:45	00:05:35	2001 Avenida de Mesilla

Calls by Incident Type. Does not include calls where there was no response.

2019-0000256	2019/07/21	18:49:04	19:02:02	00:12:58	Calle de Santiago
Subtotal Count: 2		Average Response Time for Incident Type: 00:08:02			
561 - Unauthorized burning					
2019-0000228	2019/07/04	21:57:58	22:06:04	00:08:06	5725 Vista Verde DR
Subtotal Count: 1		Average Response Time for Incident Type: 00:08:06			
721 - Bomb scare - no bomb					
2019-0000239	2019/07/08	13:38:50	13:54:50	00:16:00	2830 Boldt ST
Subtotal Count: 1		Average Response Time for Incident Type: 00:16:00			
733 - Smoke detector activation due to malfunction					
2019-0000260	2019/07/24	21:12:39	21:24:18	00:11:39	1755 Avenida de Mercado
Subtotal Count: 1		Average Response Time for Incident Type: 00:11:39			
745 - Alarm system activation, no fire - unintentional					
2019-0000216	2019/07/03	12:37:59	12:41:51	00:03:52	2251 Calle de Santiago
Subtotal Count: 1		Average Response Time for Incident Type: 00:03:52			
900 - Special type of incident, other					
2019-0000220	2019/07/04	20:02:35	20:02:35	00:00:00	1770 Tierra de Mesilla
2019-0000221	2019/07/04	20:47:27	20:48:51	00:01:24	107 Capri RD
2019-0000222	2019/07/04	20:52:05	20:52:05	00:00:00	2809 Camino Castillo
2019-0000224	2019/07/04	21:26:22	21:26:24	00:00:02	2245 Calle de Colon
2019-0000225	2019/07/04	21:36:51	21:36:53	00:00:02	2590 Calle de Colon
2019-0000226	2019/07/04	21:46:03	21:46:36	00:00:33	Calle de Medanos
2019-0000227	2019/07/04	21:52:51	21:52:51	00:00:00	5000 Calle del Norte
2019-0000229	2019/07/04	22:02:05	22:02:26	00:00:21	5000 Calle del Norte
2019-0000231	2019/07/04	22:38:53	22:38:57	00:00:04	1300 W University AVE
2019-0000232	2019/07/04	23:05:42	23:05:42	00:00:00	Avenida de Mesilla
2019-0000243	2019/07/04	22:54:21	22:55:42	00:01:21	5000 Calle del Norte
Subtotal Count: 11		Average Response Time for Incident Type: 00:00:20			
911 - Citizen complaint					
2019-0000214	2019/07/01	21:39:55	21:45:13	00:05:18	319 Capri Arc
2019-0000223	2019/07/04	20:54:12	21:02:00	00:07:48	655 Ritter DR
Subtotal Count: 2		Average Response Time for Incident Type: 00:06:33			
Grand Total: 37		Average Response Time for All Incident Types: 00:06:47			

Calls by Incident Type. Does not include calls where there was no response.

Mesilla Fire Department

Mesilla, NM

This report was generated on 8/3/2019 4:07:32 AM



Total Volunteer Hours by Personnel July 2019

Pay Grades: All Pay Grades | Start Date: 07/01/2019 | End Date: 07/31/2019

PERSONNEL	INCIDENT TIME	TRAINING TIME	EVENT TIME	TOTAL TIME
Alberg, Kevin C	0:00	15:00	0:00	15:00
Azcarate, Ben	0:00	0:00	0:00	0:00
Boyd, Lachlan James	3:02	4:00	0:00	7:02
Caro, Ariel M	2:01	0:00	8:00	10:01
Chavez, John Eric	3:06	8:00	32:00	43:06
Cortez, Manny	0:00	0:00	0:00	0:00
Davis-Whited, Crystal	0:42	8:00	12:00	20:42
Embury, Andy G.	1:26	5:00	0:00	6:26
Felix, Manuel R	2:00	22:00	36:00	60:00
Frietze, Trevor R	0:43	17:00	8:00	25:43
Garibay, Evert A	1:35	14:00	8:00	23:35
Gaston, Louis A	0:00	6:00	0:00	6:00
Gaytan, Aleksandra Melina	0:34	13:00	32:00	45:34
Gomez, Sonny	0:22	9:30	15:00	24:52
Guzman, Phillip	0:34	15:00	22:00	37:34
Hoban, Kevin M	6:53	15:00	307:00	328:53
Klebansky, George A	0:00	7:00	0:00	7:00
Knoll, Justin S	0:00	9:00	0:00	9:00
Linares, Sebastian	2:07	20:00	18:00	40:07
Lopez, Francisco A	0:00	19:30	6:00	25:30
Madson, Ed	0:41	0:00	0:00	0:41
Manriquez, Humberto	0:20	12:00	18:00	30:20
Martinez Jr. , Anthony R	0:00	0:00	10:00	10:00
Martinez, Mateo	5:56	4:00	22:00	31:56
McBurney, Samuel	1:59	0:00	0:00	1:59
Montoya, Thomas M	2:44	3:00	55:00	60:44
Nanez, Ryan	0:00	0:00	0:00	0:00
Navarro, Nicolas A	1:45	24:00	62:00	87:45
O'Brien, Amy M	0:00	5:00	0:00	5:00
Orrantia, Laura T	2:17	10:00	42:00	54:17
Other, Police Officer	0:03	0:00	0:00	0:03
Palma, Eric G	1:34	0:00	0:00	1:34
Porter, Zachary S	0:00	19:00	8:00	27:00
Renteria, Irwin	0:00	7:00	0:00	7:00
Roberson, Cavin C	0:00	8:00	10:00	18:00
Rossmann, Tabitha A	0:00	3:00	0:00	3:00
Salas, Enrique	0:00	0:00	0:00	0:00
Shepan, Lance A.	0:00	12:00	0:00	12:00
Sinclair, Jennifer M	0:19	0:00	8:00	8:19
Smith, Morgan Samantha	1:37	6:00	0:00	7:37
Thunhorst, Dylan P	2:17	13:00	63:00	78:17
Thunhorst, Ines C	0:41	6:00	0:00	6:41
Torres, Joseph J	2:59	3:00	0:00	5:59
Tucker, Austin J	0:34	24:00	8:00	32:34
Villazon, Lillian M	0:00	2:30	0:00	2:30
Whited, Gregory E	1:03	7:00	36:00	44:03
Zecha, Chad	0:50	7:00	61:00	68:50
TOTAL				1341:41:00

Personnel Total Hours by Time spent on Incidents and Time spent on Training Times for Date Range for Pay Grade. Time Cards are NOT included. Time is displayed in hh:mm format. This report only includes Reviewed Incidents, Locked Events and

Mesilla Fire Department

Mesilla, NM

This report was generated on 8/3/2019 2:42:29 AM



Count of Classes by Personnel by Class Category

Passed/Failed: Both Passed and Failed | Personnel: All Personnel | Start Date: 07/01/2019 | End Date: 07/31/2019

Alberg, Kevin C

Class Category	Class Count	Total Class Hours
EMS	3	12:00
I.S.O. Officer Training	1	3:00
Total for Alberg, Kevin C	4	15:00

Boyd, Lachlan James

Class Category	Class Count	Total Class Hours
EMS Training	1	1:00
I.S.O. New Recruit Training	1	3:00
Total for Boyd, Lachlan James	2	4:00

Chavez, John Eric

Class Category	Class Count	Total Class Hours
I.S.O. Company Training	1	3:00
I.S.O. New Recruit Training	2	7:00
Total for Chavez, John Eric	3	10:00

Davis-Whited, Crystal

Class Category	Class Count	Total Class Hours
EMS Training	1	1:00
I.S.O. Company Training	1	3:00
I.S.O. New Recruit Training	1	4:00
Total for Davis-Whited, Crystal	3	8:00

Embury, Andy G.

Class Category	Class Count	Total Class Hours
EMS Training	1	1:00
I.S.O. New Recruit Training	1	4:00
Total for Embury, Andy G.	2	5:00

Felix, Manuel R

Class Category	Class Count	Total Class Hours
I.S.O. Company Training	2	6:00
I.S.O. New Recruit Training	5	16:00
Total for Felix, Manuel R	7	22:00

Frietze, Trevor R

Class Category	Class Count	Total Class Hours
I.S.O. Company Training	2	4:00
I.S.O. New Recruit Training	4	13:00
Total for Frietze, Trevor R	6	17:00

Garibay, Evert A

This report lists a count of Classes completed by each Person, for each Class Category. Optionally filtered by Personnel and Passage or Failure. Time shown in Hours and Minutes

If "All Personnel" is selected, this report also includes non-agency Personnel.

Class Category	Class Count	Total Class Hours
EMS Training	1	1:00
I.S.O. New Recruit Training	4	13:00
Total for Garibay, Evert A	5	14:00

Gaston, Louis A

Class Category	Class Count	Total Class Hours
I.S.O. Company Training	1	3:00
I.S.O. New Recruit Training	1	3:00
Total for Gaston, Louis A	2	6:00

Gaytan, Aleksandra Melina

Class Category	Class Count	Total Class Hours
I.S.O. New Recruit Training	4	13:00
Total for Gaytan, Aleksandra Melina	4	13:00

Gomez, Sonny

Class Category	Class Count	Total Class Hours
I.S.O. Company Training	2	2:30
I.S.O. New Recruit Training	2	7:00
Total for Gomez, Sonny	4	9:30

Guzman, Phillip

Class Category	Class Count	Total Class Hours
I.S.O. Company Training	1	2:00
I.S.O. New Recruit Training	4	13:00
Total for Guzman, Phillip	5	15:00

Hoban, Kevin M

Class Category	Class Count	Total Class Hours
EMS	3	12:00
I.S.O. Officer Training	1	3:00
Total for Hoban, Kevin M	4	15:00

Klebansky, George A

Class Category	Class Count	Total Class Hours
I.S.O. Company Training	1	3:00
I.S.O. New Recruit Training	1	4:00
Total for Klebansky, George A	2	7:00

Knoll, Justin S

Class Category	Class Count	Total Class Hours
I.S.O. Company Training	3	3:00
I.S.O. New Recruit Training	2	6:00
Total for Knoll, Justin S	5	9:00

Linares, Sebastian

Class Category	Class Count	Total Class Hours
I.S.O. Company Training	5	8:00
I.S.O. New Recruit Training	4	12:00
Total for Linares, Sebastian	9	20:00

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If "All Personnel" is selected, this report also includes non-agency Personnel.

Lopez, Francisco A		
Class Category	Class Count	Total Class Hours
I.S.O. Company Training	3	6:30
I.S.O. New Recruit Training	4	13:00
Total for Lopez, Francisco A	7	19:30

Manriquez, Humberto		
Class Category	Class Count	Total Class Hours
EMS	3	12:00
Total for Manriquez, Humberto	3	12:00

Martinez, Mateo		
Class Category	Class Count	Total Class Hours
EMS Training	1	1:00
I.S.O. Company Training	1	3:00
Total for Martinez, Mateo	2	4:00

Montoya, Thomas M		
Class Category	Class Count	Total Class Hours
I.S.O. Company Training	1	3:00
Total for Montoya, Thomas M	1	3:00

Navarro, Nicolas A		
Class Category	Class Count	Total Class Hours
I.S.O. Company Training	4	8:00
I.S.O. New Recruit Training	5	16:00
Total for Navarro, Nicolas A	9	24:00

O'Brien, Amy M		
Class Category	Class Count	Total Class Hours
EMS Training	1	1:00
I.S.O. New Recruit Training	1	4:00
Total for O'Brien, Amy M	2	5:00

Orrantia, Laura T		
Class Category	Class Count	Total Class Hours
I.S.O. New Recruit Training	3	10:00
Total for Orrantia, Laura T	3	10:00

Porter, Zachary S		
Class Category	Class Count	Total Class Hours
I.S.O. Company Training	1	3:00
I.S.O. New Recruit Training	5	16:00
Total for Porter, Zachary S	6	19:00

Renteria, Irwin		
Class Category	Class Count	Total Class Hours
I.S.O. New Recruit Training	2	7:00
Total for Renteria, Irwin	2	7:00

Roberson, Cavin C		
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This report lists a count of Classes completed by each Person, for each Class Category. Optionally filtered by Personnel and Passage or Failure. Time shown in Hours and Minutes

If "All Personnel" is selected, this report also includes non-agency Personnel.

Class Category	Class Count	Total Class Hours
I.S.O. Company Training	2	2:00
I.S.O. New Recruit Training	2	6:00
Total for Roberson, Cavin C	4	8:00

Rossman, Tabitha A

Class Category	Class Count	Total Class Hours
I.S.O. Company Training	1	3:00
Total for Rossman, Tabitha A	1	3:00

Shepan, Lance A.

Class Category	Class Count	Total Class Hours
EMS	3	12:00
Total for Shepan, Lance A.	3	12:00

Smith, Morgan Samantha

Class Category	Class Count	Total Class Hours
I.S.O. Company Training	1	3:00
I.S.O. New Recruit Training	1	3:00
Total for Smith, Morgan Samantha	2	6:00

Thunhorst, Dylan P

Class Category	Class Count	Total Class Hours
EMS	2	6:00
I.S.O. New Recruit Training	2	7:00
Total for Thunhorst, Dylan P	4	13:00

Thunhorst, Ines C

Class Category	Class Count	Total Class Hours
EMS	1	6:00
Total for Thunhorst, Ines C	1	6:00

Torres, Joseph J

Class Category	Class Count	Total Class Hours
I.S.O. New Recruit Training	1	3:00
Total for Torres, Joseph J	1	3:00

Tucker, Austin J

Class Category	Class Count	Total Class Hours
I.S.O. Company Training	5	8:00
I.S.O. New Recruit Training	5	16:00
Total for Tucker, Austin J	10	24:00

Villazon, Lillian M

Class Category	Class Count	Total Class Hours
I.S.O. Company Training	2	2:30
Total for Villazon, Lillian M	2	2:30

Whited, Gregory E

Class Category	Class Count	Total Class Hours
I.S.O. Company Training	1	3:00
I.S.O. New Recruit Training	1	4:00

This report lists a count of Classes completed by each Person, for each Class Category. Optionally filtered by Personnel and Passage or Failure. Time shown in Hours and Minutes

If "All Personnel" is selected, this report also includes non-agency Personnel.

Total for Whited, Gregory E		2	7:00
Zecha, Chad			
Class Category	Class Count	Total Class Hours	
I.S.O. Company Training	1	3:00	
I.S.O. New Recruit Training	1	4:00	
Total for Zecha, Chad	2	7:00	

This report lists a count of Classes completed by each Person, for each Class Category. Optionally filtered by Personnel and Passage or Failure. Time shown in Hours and Minutes

If "All Personnel" is selected, this report also includes non-agency Personnel.

Mesilla Fire Department

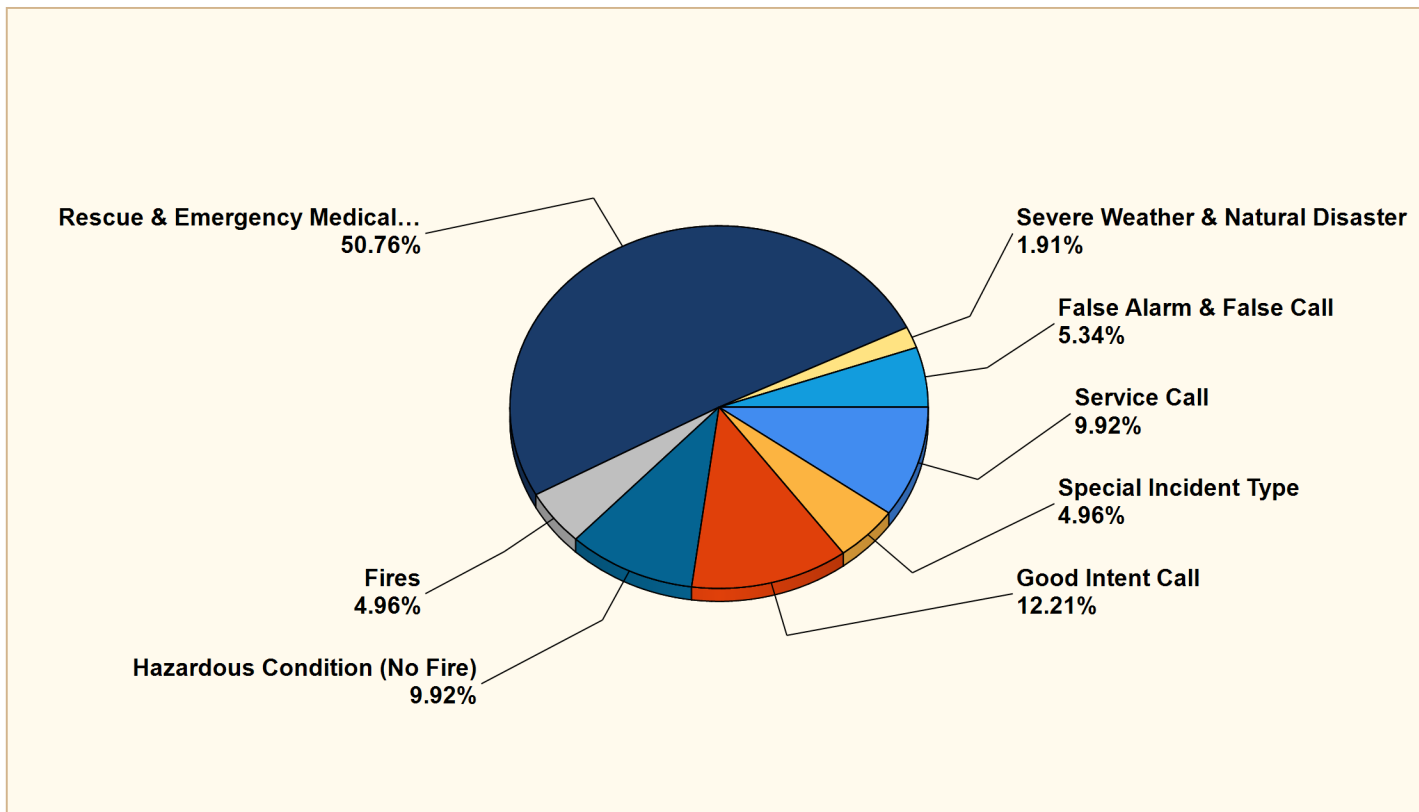
Mesilla, NM

This report was generated on 8/3/2019 3:38:13 AM



Breakdown by Major Incident Types for Date Range

Zone(s): All Zones | Start Date: 01/01/2019 | End Date: 07/31/2019



MAJOR INCIDENT TYPE	# INCIDENTS	% of TOTAL
Fires	13	4.96%
Rescue & Emergency Medical Service	133	50.76%
Hazardous Condition (No Fire)	26	9.92%
Service Call	26	9.92%
Good Intent Call	32	12.21%
False Alarm & False Call	14	5.34%
Severe Weather & Natural Disaster	5	1.91%
Special Incident Type	13	4.96%
TOTAL	262	100.00%

Only REVIEWED incidents included. Summary results for a major incident type are not displayed if the count is zero.

Detailed Breakdown by Incident Type

INCIDENT TYPE	# INCIDENTS	% of TOTAL
111 - Building fire	2	0.76%
113 - Cooking fire, confined to container	1	0.38%
118 - Trash or rubbish fire, contained	1	0.38%
142 - Brush or brush-and-grass mixture fire	5	1.91%
143 - Grass fire	2	0.76%
150 - Outside rubbish fire, other	1	0.38%
151 - Outside rubbish, trash or waste fire	1	0.38%
300 - Rescue, EMS incident, other	1	0.38%
311 - Medical assist, assist EMS crew	13	4.96%
320 - Emergency medical service, other	1	0.38%
321 - EMS call, excluding vehicle accident with injury	94	35.88%
322 - Motor vehicle accident with injuries	8	3.05%
324 - Motor vehicle accident with no injuries.	8	3.05%
381 - Rescue or EMS standby	8	3.05%
412 - Gas leak (natural gas or LPG)	13	4.96%
421 - Chemical hazard (no spill or leak)	1	0.38%
424 - Carbon monoxide incident	1	0.38%
440 - Electrical wiring/equipment problem, other	3	1.15%
444 - Power line down	4	1.53%
445 - Arcing, shorted electrical equipment	3	1.15%
461 - Building or structure weakened or collapsed	1	0.38%
511 - Lock-out	7	2.67%
520 - Water problem, other	1	0.38%
542 - Animal rescue	1	0.38%
550 - Public service assistance, other	1	0.38%
551 - Assist police or other governmental agency	2	0.76%
552 - Police matter	2	0.76%
553 - Public service	6	2.29%
554 - Assist invalid	1	0.38%
561 - Unauthorized burning	5	1.91%
600 - Good intent call, other	1	0.38%
611 - Dispatched & cancelled en route	20	7.63%
622 - No incident found on arrival at dispatch address	1	0.38%
631 - Authorized controlled burning	6	2.29%
650 - Steam, other gas mistaken for smoke, other	1	0.38%
651 - Smoke scare, odor of smoke	1	0.38%
652 - Steam, vapor, fog or dust thought to be smoke	1	0.38%
671 - HazMat release investigation w/no HazMat	1	0.38%
710 - Malicious, mischievous false call, other	1	0.38%
721 - Bomb scare - no bomb	1	0.38%
733 - Smoke detector activation due to malfunction	2	0.76%
736 - CO detector activation due to malfunction	1	0.38%
740 - Unintentional transmission of alarm, other	2	0.76%
743 - Smoke detector activation, no fire - unintentional	3	1.15%
744 - Detector activation, no fire - unintentional	1	0.38%
745 - Alarm system activation, no fire - unintentional	3	1.15%
812 - Flood assessment	2	0.76%
813 - Wind storm, tornado/hurricane assessment	3	1.15%
900 - Special type of incident, other	11	4.20%
911 - Citizen complaint	2	0.76%
TOTAL INCIDENTS:	262	100.00%

Only REVIEWED incidents included. Summary results for a major incident type are not displayed if the count is zero.



MESILLA MARSHAL'S DEPARTMENT

P.O. BOX 10 MESILLA, NM 88046 PHONE 575-526-4138 FAX 575-652-3776

POLICE – ANIMAL CONTROL – EMERGENCY MANAGEMENT

MARSHAL K.C. ALBERG, CAS, FM, NMCEM

Date: August 6, 2019

To: Mayor and Mesilla Board of Trustees

This is the Monthly Report for July 2019 for the Mesilla Marshal's Department:

Citations – 13 Court Appearance; 1 Penalty Assessments; 12 Warnings; 0 Parking Violation Notices. Total: 26.

Aggravated DWI – 0

Careless Driving – 0

Child Restraint – 0

Concealing Identification – 0

Current Registration – 1

Crash – 0

Driving on Shoulder – 0

DWI – 0

Failure to Dim – 0

Failure to Yield – 0

Headlamp – 0

Lewd Act – 0

No Insurance – 1

No Parking – 1

No Passing – 0

One Way Streets – 1

Open Container – 0

Paraphernalia – 1

Possess Driver's License – 1

Possession of Marijuana – 1

Red Light – 1

Restriction/Driver's License – 1

Seat Belt – 1

Speeding – 12

Streets Laned Traffic – 1

Stop Sign – 4

Texting – 0

Two Headlamps Required – 0

Unlawful Use of Driver's License – 1

Vehicle in Safe Condition – 1

Total Responses/Calls for Service/Reports –

Responses by sworn personnel:

911 Hang-up Calls – 6
Abandoned Vehicle – 0
Abdominal Pain – 1
Agency Assist – 12
Alarm, Burglary – 6
Alarm, Carbon Monoxide – 0
Alarm, Fire – 0
Alarm, Hold Up – 0
Alarm, Medical – 0
Alarm, Panic – 1
Animal Bite/Animal Attacks – 0
Animal Care & Maintenance – 2
Animal Control Call – 1
Animal Control – Follow up – 0
Animal Cruelty – 0
Animal in Custody – 2
Animal, Dead – 0
Animal Livestock Complaint – 0
Animal Loud – 0
Animal Sick/Injured – 0
Animal Snake – 1
Animal Stray – 1
Animal Trap – 2
Animal Vicious – 0
Assault Report – 4
ATV Complaint – 0
Back Pain/Injury – 0
Behavioral Issues – 1
Be On the Lookout – 0
Bleeding – 0
Breathing Problems – 0
Building Check – 2
Burglary, Auto – 1
Burglary in Progress – 0
Burglary – 2
Case Follow Up – 0
Chest Pain – 0
Child Abuse – 0
Choking – 0
Civil Dispute/Standby – 1
Civil Process – 0
Codes Enforcement – 0

Total Responses/Calls for Service/Reports –

Responses by sworn personnel (continued):

Codes – Follow Up – 0
Codes – Nuisance – 1
Codes – Parking – 1
Computer Crimes – 0
CPR Adult – 2
CPR Child – 0
Detention Center Release – 0
Diabetic Problem – 1
Disturbance Disorderly – 2
Disturbance Domestic – 5
Disturbance Domestic in Progress – 0
Disturbance Fight – 0
Disturbance Noise/Music – 3
Disturbance Unknown – 0
Disturbance Verbal – 3
Drunk/Intoxicated Subject – 0
DWI – 3
Fall Victim/Back Injury – 0
Fever – 0
Fire Brush/Wildland – 1
Fire Pole/Tree – 0
Fire Structure Commercial – 0
Fire Structure Residential – 0
Fire Vehicle – 0
Fireworks Complaint – 1
Flooding – 0
Foot Patrol – 1
Forgery/Fraud/Emb/Report – 0
Frequent Patrol – 35
Gas Leak – 0
Gas Odor Natural – 1
Gun – Shots Fired – 1
Gun – Subject with a gun – 0
Gunshot Victim – 0
Harassment – 0
Heat Exposure – 0
Injured Person – 0
Illegal Burn – 0
Illegal Dumping – 0
Information Report – 3
Illegally Parked Vehicle – 2
Kidnapping/Unlawful Custody – 0

Total Responses/Calls for Service/Reports –

Responses by sworn personnel (continued):

Lift Assist – 0
Lockout – 1
Loud Party – 0
Minor in Possession of Alc./Contributing – 0
Missing Adult – 0
Missing Child – 0
Missing Person – 0
Motor Vehicle Accident Hit & Run – 0
Motor Vehicle Accident non Injury – 0
Motor Vehicle Accident with Injury – 3
Motor Vehicle Accident with Injury Extra Response – 0
Motor Vehicle Accident Private Property – 0
Motor Vehicle Theft Report – 0
Narcotics/Illegal Drugs – 0
Obstruction – 1
Overdose – 3
Out with Subject – 2
Phone Call – 4
Poisoning/Ingestion – 0
Prisoner Transport – 2
Property Found – 0
Property Lost – 1
Property Recovered – 0
Prowler – 0
Public Assist – 2
Pursuit Foot/Vehicle – 0
Rape – 0
Reckless Driver – 3
Repossession/Private Property Impound – 0
Restraining Order Violation – 0
Runaway – 0
Search and Rescue – 0
Seizures/Convulsions – 0
Sick/Ill Person – 1
Shoplifting – 0
Stalking – 0
Standby – 1
Stroke/CVA – 0
Subject Contact/Busy – 0
Suicide Attempt – 0
Suicidal Subject – 1
Supplement/Follow up – 3

Total Responses/Calls for Service/Reports –

Responses by sworn personnel (continued):

Suspicious Activity – 2
Suspicious Person(s) – 4
Suspicious Vehicle(s) – 7
Theft Report – 3
Threats – 1
Traumatic Injuries – 0
Trespassing – 0
Traffic Stop – 47
Traffic Complaint – 0
Traffic Control – 1
Traffic Escort – 0
Unspecified Call Type – 0
Unconscious/Fainting – 0
Vagrancy – 0
Vandalism/Graffiti – 3
Warrant – 1
Weapons – 0
Welfare Check – 4
Wires Down – 0


Operation Stone Garden was **DISCONTINUED** as to overtime; however, its objectives remain supported and the equipment in use.



TOWN OF MESILLA

Public Works Department
P.O. Box 10, Mesilla, New Mexico 88046
Office: (575) 524-3262
Fax: (575) 541-6327

MEMORANDUM

Date: August 7, 2019
TO: Mayor Barraza, Board of Trustees and Cynthia Stoechner-Hernandez
FROM: Rodney J. McGillivray, Public Works Director 
RE: **Public Works Division Activity Report – July 2019**

On-going maintenance, custodial and operations:

- Meter reading continues
- Utility location services
- Event set-up and tear down on-going
- Monitoring of water tank, wells and pumps
- Monitoring of lift stations and review of reporting
- Monthly water sampling and reporting is up-to-date
- Grounds maintenance on-going
- New water services and water shut-offs continue (ownership change/nonpayment)
- Custodial responsibilities on-going
- On-call/standby needs for emergency repairs or assistance

Miscellaneous items/work orders/accomplishments:

- Employee training
- Repairs to Mesilla Water System booster pump station
- Street signage installed
- Clean up after major storm event(s)
- Cleaned storm system drains
- HVAC repairs at Community Center and Town Hall
- Irrigation repairs
- Repairs to community center kitchen underway
- Plaza landscaping/flowers upkeep

Tree trimming (code violations assessed for tree trimming and signage blockage)
Weed eradication/street cleaning (continual)
Filling potholes (street repairs)
GPS for PWD vehicles complete
Asphalt repairs (contractor)
Town Hall alarm system replacement underway
El Paso Electric service reviews performed
Performed grading at Calle de Picacho for flood control
Community Center roof repairs (insurance claim submitted)
EBID flood irrigation performed

Project update:

McDowell wastewater project Phase II – Review and assessment of electrical requirements are underway. Review of project costs/fees are underway

ICIP – ICIP (Infrastructure Capital Improvement Plan) updates and proposed projects are being reviewed. Public input meeting will be scheduled for August 20, 2019. ICIP recommendations will be on the BOT agenda for August 26, 2019.

Bowman – project roadway/waterline improvements are underway. Project is considered approximately 20% complete. Project completion anticipated for mid-October

Calle de Parian – Project close-out NMDOT documentation and final payments

Trail – Design complete. NMDOT - PS&E (plans, specifications and estimate) complete. It is anticipated the project will be approved by NMDOT for construction within 60-90 days.

FY20 LGRF – Engineering selection underway

Picacho drainage engineering project – Project moved from CWSRF to ICIP