



Town of Mesilla, New Mexico

PZHAC WORK SESSION AGENDA AUGUST 5, 2019

THE PLANNING, ZONING AND HISTORICAL APPROPRIATENESS COMMISSION (PZHAC) WILL HOLD A WORK SESSION, MONDAY, AUGUST 5, 2019 AT 5:30 P.M. IN THE BOARD ROOM OF THE MESILLA TOWN HALL, 2231 AVENIDA DE MESILLA.

- Item 1:** Submitted by Joseph W. Foster; a request to discuss plans to construct a pergola over an outdoor commercial patio to shield customers from the sun at 2461 Calle de Principal. (Case 060936) Zoned: Historical Commercial (HC)
- Item 2:** Submitted by Cecilia Quintana and Page Coleman; a request to discuss plans to construct a rock wall around two sides of a residential property at 2424 Calle de Parian. (Case 060938) Zoned: Historical Residential (HR)
- Item 3:** Submitted by Suzanne M. Brannan for Joseph W. Rogers; a request to discuss plans to eliminate a lot line between two parcels to create one parcel at 306 Capri Arc. (Case 060940) Zoned: Single Family Residential (R-1)
- Item 4:** Submitted by Felix Armijo; a request to discuss plans to add a walk-in freezer to a restaurant structure (Café Don Felix) at 2290 Calle de Parian, Suite D. (Case 060942) Zoned: Historical Commercial (HC)

PZHAC REGULAR MEETING AGENDA AUGUST 5, 2019

THE PLANNING, ZONING AND HISTORICAL APPROPRIATENESS COMMISSION (PZHAC) WILL HOLD ITS REGULARLY SCHEDULED MEETING MONDAY, AUGUST 5, 2019 AT 6:00 P.M. IN THE BOARD ROOM OF THE MESILLA TOWN HALL, 2231 AVENIDA DE MESILLA.

I. PLEDGE OF ALLEGIANCE

II. ROLL CALL AND DETERMINATION OF A QUORUM

III. CHANGES/APPROVAL OF THE AGENDA

IV. *ACCEPTANCE OF THE CONSENT AGENDA

Note: Items on the agenda indicated by an asterisk () are on the consent agenda and will be voted on with one motion unless a Commissioner requests that a specific item be removed for discussion.*

A. *PZHAC MINUTES – PZHAC Work Sessions and Regular Meetings of June 17 and July 1, 2019

B. *ADMINISTRATIVE APPROVAL

Zoning Permits

1. **Case 060934** – 2635 Calle de Parian, submitted by William McIlvaine; a request for a zoning permit to allow four exterior doors to be painted to match other exterior doors on the dwelling at this address. Zoned: Historical Residential (HR)
2. **Case 060935** – 2220 Calle de Parian, submitted by Sun Vista Construction for Teresa Sanchez; a request for a zoning permit to repair a sidewalk in front of a dwelling at this address. Zoned: Historical Residential (HR)
3. **Case 060937** – 298 Capri Road, submitted by Wiley Thompson; a request for a zoning permit to reroof a dwelling at this address. Zoned: Single Family Residential (R-1)
4. **Case 060939** - 2218 Calle del Oeste, submitted by Organ Mountain Solar and Electric for Hilary McDaniel; a request for a zoning permit to allow the installation of photovoltaic panels on a dwelling at this address. Zoned: Historic Residential (HR)
5. **Case 060941** – 2122 Calle de Los Huertos, submitted by Michael Radtke; a request for a zoning permit to reroof a dwelling at this address. Zoned: Historical Residential (HR)

V. PZHAC NEW BUSINESS:

A. PUBLIC INPUT ON CASES

B. PUBLIC HEARING

1. **Z19-002** – 1985 Calle de Colon, submitted by Sylvia J. and David B. Fierro; an application for a zone change from Historical Residential (HR) to Historical Commercial (HC) for a 7749 square foot residential parcel located adjacent to the west side of Palacio's Bar.
2. **Z19-003** – 2600 Avenida de Mesilla, submitted by Velia Chavez; an application for a zone change from Historical Residential (HR) to Historical Commercial (HC) for a 15512 square foot parcel that contains Palacio's Bar.

C. DECISIONS:

Zone Changes:

1. **Z19-002** – 1985 Calle de Colon, submitted by Sylvia J. and David B. Fierro; an application for a zone change from Historical Residential (HR) to Historical Commercial (HC) for a 7749 square foot residential parcel located adjacent to the west side of Palacio's Bar.
2. **Z19-003** – 2600 Avenida de Mesilla, submitted by Velia Chavez; an application for a zone change from Historical Residential (HR) to Historical Commercial (HC) for a 15512 square foot parcel that contains Palacio's Bar.

Cases:

3. **Case 060936** – 2461 Calle de Principal, submitted by Joseph W. Foster; a request for a zoning permit to construct a pergola over an outdoor commercial patio to shield customers from the sun at this address. Zoned: Historical Commercial (HC) (**This case was discussed during the Work Session – Item 1**)
4. **Case 060938** – 2424 Calle de Parian, submitted by Cecilia Quintana and Page Coleman; a request for a zoning permit to construct a wall on two sides of a residential property at this address. Zoned: Historical Residential (HR) (**This case was discussed during the Work Session – Item 2**)
5. **Case 060942** – 2290 Calle de Parian, Suite D; submitted by Felix Armijo; a request for a zoning permit to construct an addition to a restaurant structure (Café Don Felix) at this address. Zoned: Historical Commercial (HC) (**This case was discussed during the Work Session – Item 4**)
6. **Case 060943** – 2920 Camino Castillo, submitted by Justin Bannister; a request for a zoning permit to allow construction of an in-ground pool behind a dwelling at this address. Zoned: Single Family Residential (R-1)

Summary Subdivision

7. **Case 060940** – 306 Capri Arc, submitted by Suzanne M. Brannan for Joseph W. Rogers; a request to discuss plans to eliminate a lot line between two parcels to create one residential parcel at this address. Zoned: Single Family Residential (R-1) (**This case was discussed during the Work Session – Item 3**)

VI. PUBLIC COMMENTS

VII. PZHAC/STAFF COMMENTS

Attached is information obtained by Commissioner Nevarez at the NMLZO semi-annual meeting held May 1 through May 3, 2019 in Albuquerque, NM (separate attachment).

VIII. ADJOURNMENT

NOTICE

If you need an accommodation for a disability to enable you to fully participate in the hearing or meeting, please contact us at 524-3262 at least 48 hours prior to the meeting.

Posted on 8/1/19 at the following locations: Town Hall - 2231 Avenida de Mesilla; Public Safety Building - 2670 Calle de Parian; Mesilla Community Center - 2251 Calle de Santiago; Shorty's Food Mart - 2290 Avenida de Mesilla; Ristramn Chile Co. - 2531 Avenida de Mesilla and the U.S. Post Office - 2253 Calle de Parian.

PZHAC NEW BUSINESS

AUGUST 5, 2019

WORK SESSION

PZHAC WORK SESSION
AUGUST 5, 2019
ITEM 1

Submitted by Joseph W. Foster; a request to discuss plans to construct a pergola over an outdoor commercial patio to shield customers from the sun at 2461 Calle de Principal. (Case 060936) Zoned: Historical Commercial

DESCRIPTION OF REQUEST:

The subject property contains an adobe structure that dates back to the 1850's. Arthur Fountain became the owner of the structure around 1900, and the structure has been in the Fountain family since then. The southern third of the structure was owned by Artie Fountain until recently, at which time the applicant purchased the property. Aside from the addition of a concrete block residence at the southern end of the structure in the 1950's, as well as some minor repairs, the structure itself has not been much in the past 50 – 60 years.

The applicant would like to restore some of the historic feel to the exterior of the structure that he feels has been gradually lost over time as a result of inadequate repairs and neglect. In addition to repairs to the interior of the structure, including electrical upgrades, he is in the process of renewing the original historic character of the open areas on the east side of the structure. Renovations will incorporate and reinforce the concept of this block being historically the "Transportation Block" of Mesilla, according to the Historical Register. This will include the replacement of non-historic concrete block walls; widening doorways, repairing windows, and replacing doors and gates with more historically appropriate doors and gates; the repair and upgrading of the parking area and drainage features; and generally landscaping the area to improve its appeal and historic character.

The applicant has recently submitted several zoning permits for the proposed work. These were approved by the PZHAC in July of this year. This request is in addition to those that had been approved. Photos and diagrams of the structure are attached to illustrate what will be done. Excerpts from the Historical Register are also included for reference. This request is to allow a pergola to be constructed over the exterior area currently used as a serving area by "Vintage Wines". This area will be enlarged and will be covered by the pergola in order to protect patrons from the sun. The pergola will be constructed in the same style as the existing structure and will be finished to match the color and character of the existing structure.

CONSISTENCY WITH THE CODE:

The PZHAC will need to determine that the proposed work will not result in any changes to the structure that will affect its Historical character, and that the work will be consistent with the following sections of the Code:

Chapter 18.33 – Historic Preservation

18.33.040 Declaration of purpose and statement of public policy.

A. The board of trustees declares that the historical heritage of Mesilla and its historic buildings and its historic districts are among its most valued and important assets. The board finds that some buildings having historical, architectural, aesthetic and cultural value have been neglected, altered or destroyed notwithstanding the feasibility of preserving and continuing the use of such buildings and without adequate consideration of the irreplaceable loss to the public and the town. The board finds that the historic character of Mesilla is of vital importance in maintaining the economy of the town and that its historic landmarks and the buildings in its historic district can be preserved, rehabilitated and used. The board finds that this chapter benefits all the residents of Mesilla and all the owners of property.

B. The board of trustees declares as a matter of public policy that the preservation, protection and use of historic landmarks and buildings in the historic districts are a public necessity because they have a special character or a special historic, architectural, aesthetic or cultural value and thus serve as visible reminders of the history and heritage of this town, state and nation. The board declares as a matter of public policy that this chapter is required in the interest of the health, safety, welfare and economic well-being of the public. The board declares as a matter of public policy that the identification and designation of historic landmarks and historic districts and the approval or disapproval of exterior changes to designated property or their demolition or relocation or new construction on the site are stated to be a public purpose. [Ord. 2011-03]

Since the proposed work will not change the use or style of the structure, and since the work will need to address the guidelines set forth by the Secretary of the Interior for Historic structures as well as the requirements of Section 18.33 – Historic Preservation of the Code, the PZHAC will need to determine that the proposed work will meet these requirements. Also, the proposed work will need to meet the requirements of the Building code where applicable.

The applicant will be present at the work session to provide further details about the proposed renovations and will be available to answer any questions that may arise.

**PHOTO OF THE SUBJECT PROPERTY FROM CALLE DE GUADALUPE
SHOWING THE AREA TO BE COVERED**



Doña Ana County, NM

General Reference Maps

2014 Aerial | Addresses | County Address Points

Select Search Type: Account Number Enter Value:

Maps Legend

Map Themes

| |
|-----------------------------|
| Parcels |
| UDC Zoning |
| Roads and Transportation |
| NM House Districts |
| NM Senate Districts |
| County Commission Districts |
| City Council Districts |
| Median Household Income |
| General Land Ownership |

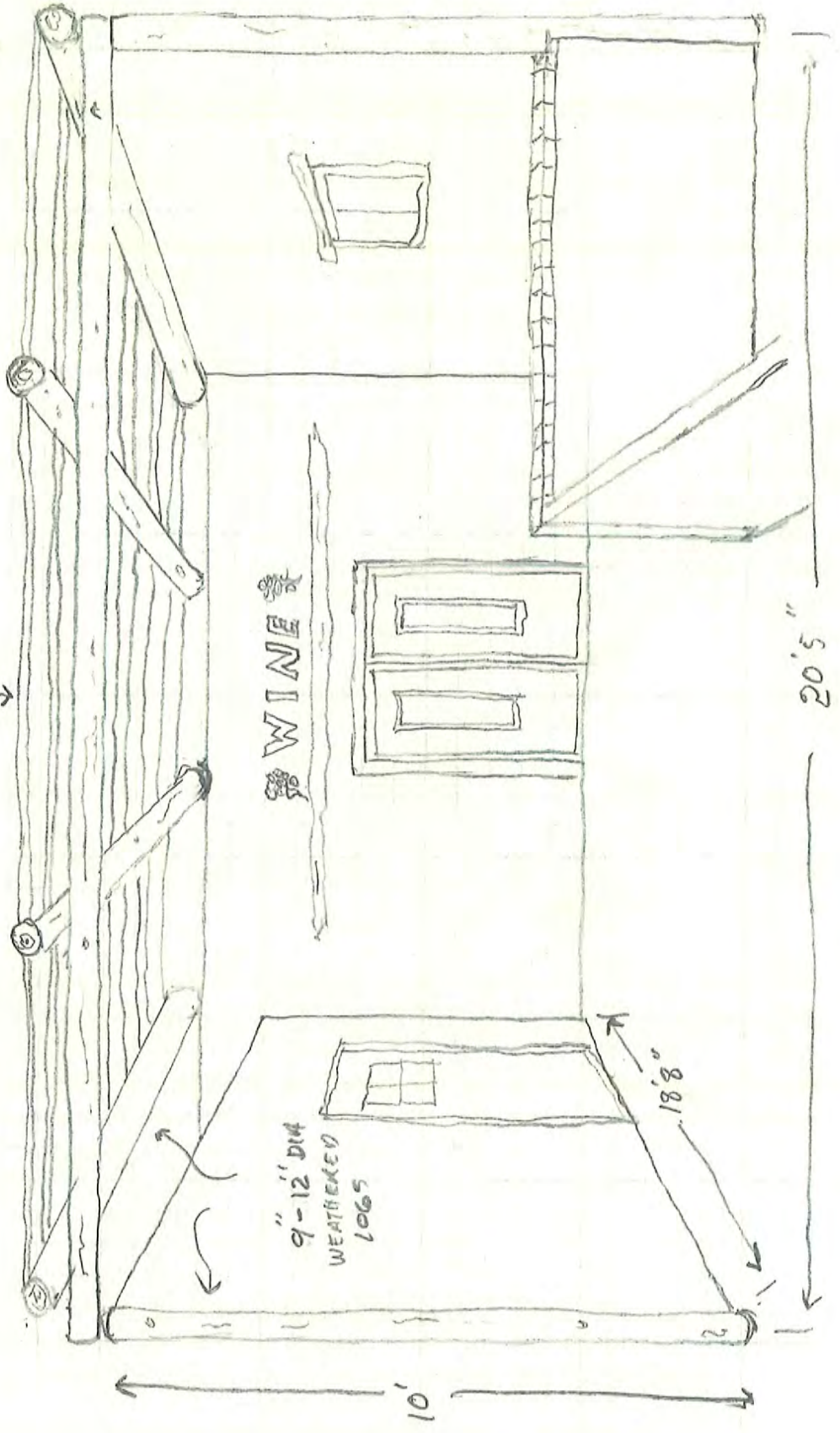
Account Number: [R0401209](#)
Parcel Number: 4006137253477
Owner: ARTIEFOUNT LLC
Mail Address: PO BOX 259
Subdivision: FOUNTAIN ACRES
SUBDIVISION (BK 24 PG 283 -
1730368)
Property Address: 2489 CALLE DE
PRINCIPAL
Acres: 0



LATHAS

WINE

9"-12" DIA
WEATHERED
LOGS



**TOWN OF MESILLA
ZONING APPROVAL**

PERMISSION TO CONDUCT WORK
OR
OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT

OFFICIAL USE ONLY:
Case # 060936
Fee \$ 17.00

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 060936 ZONE: HC CODE: AD APPLICATION DATE: 7/16/19

JOSEPH W. FOSTER

850-502-9237

Name of Applicant/Owner

Applicant's Telephone Number

10090 BLACK HILLS RD.

LAS CRUCES

NM

88011

Applicant's/Owner's Mailing Address

City

State

Zip Code

FOSTER.JOSEPH.W @ GMAIL.COM

Applicant's/Owner's E-mail Address

- SELF -

Contractor's Name & Address (If none, indicate Self)

Contractor's Telephone Number

Contractor's Tax ID Number

Contractor's License Number

Address of Proposed Work:

2461 CALLE DE PRINCIPAL

Description of Proposed Work:

ADD PERGOLA TO CURRENT OUTDOOR
PATIO TO SHIELD CUSTOMERS FROM DIRECT SUN. WILL BE
CONSTRUCTED OF WEATHERED LOGS AND LATILLAS

\$ 5000

Estimated Cost

Signature of Applicant

Date

11 JULY 19

Signature of property owner if applicant is not the property owner:

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and BOT before issuance of a building permit. Recorded proof of ownership with legal description of property (deed or current tax bill) along with verification of legally subdivided status of the property are required. Plan sheets are to be no larger than 11 x 17 inches.

FOR OFFICIAL USE ONLY

PZHAC

Administrative Approval

BOT

Approved Date: _____

Approved Date: _____

Disapproved Date: _____

Disapproved Date: _____

Approved with Conditions

Approved with conditions

FIRE INSPECTION/APPROVAL REQUIRED: ___ YES NO ___ SEE CONDITIONS

CID PERMIT/INSPECTION REQUIRED: YES ___ NO ___ SEE CONDITIONS

CONDITIONS: PZHAC REVIEW & BOT APPROVAL REQUIRED

CID PERMIT REQ'D

✓

PERMISSION ISSUED/DENIED BY: _____ **ISSUE DATE:** _____

This Application will include the following, if checked:

1. ___ Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was legally subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
2. ___ Site Plan with dimensions and details.
3. ___ Proof of legal access to the property.
4. ___ Drainage plan.
5. ___ Architectural style and color scheme – diagrams or elevations (Historical and commercial zones only).
6. ___ Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
7. ___ Other information as necessary or required by the City Code or Community Development:

PZHAC WORK SESSION
AUGUST 5, 2019
ITEM 2

Submitted by Cecilia Quintana and Page Coleman; a request to discuss plans to construct a rock wall around two sides of a residential property at 2424 Calle de Parian. (**Case 060938**) Zoned: Historical Residential (HR)

DESCRIPTION OF REQUEST:

The property currently contains the applicant's dwelling and a rental dwelling, as well as a stuccoed tool shed. At this time there is a wood and wire fence along the southwest property line, and a low rock wall along the street. The remaining two side of the property do not have walls or fences. The proposed rock wall will be along these two property lines.

The proposed wall will consist of a six-foot high rock wall along the rear property line (about 140 feet long) and a 131-foot long rock wall along the northeast property line. Part of this wall (about 70 feet) will be six feet in height. The remainder (61 feet) will be three feet in height (see attached diagram and site plan). The wall will be built on the two property lines and will require a right-of-entry permit from the adjacent property owners.

There will be no changes to any of the structures on the property, or to the property itself. Generally, many of the properties in the area contain similar rock walls. The rocks used in the wall will consist of rocks of different natural colors. According to the applicant, the style and color of the wall will not be out of character with other walls in the area.

The PZHAC will need to determine that the proposed wall will be compatible with the development of other properties in the area and for the zoning of the property.

CONSISTENCY WITH THE CODE:

The PZHAC will need to determine that the proposed wall will be compatible with the historical aspect of the surrounding area, and will be consistent with the following section of the Code:

18.35.010 Purpose.

The purpose of this zone is to provide for the protection of those residential sections of the town that are worth preserving because of historical, cultural and aesthetic or architectural interest. All remodeling or new structures must be compatible with established architectural styles and design elements as outlined in the town's "Guidelines and Criteria for Preservation and Development" manual and approved by the commission and board of trustees. [Ord. 94-06 § 1; prior code § 11-2-11.4.A]

The applicant will be present at the work session to provide further details about the proposed construction of and will be available to answer any questions that may arise.

Doña Ana County, NM

General Reference Maps

2014 Aerial | Addresses | County Address Points

Select Search Type: Enter Value:

Maps | Legend

| Map Themes |
|-----------------------------|
| Parcels |
| UDC Zoning |
| Roads and Transportation |
| NM House Districts |
| NM Senate Districts |
| County Commission Districts |
| City Council Districts |
| Median Household Income |
| General Land Ownership |

Account Number: [R0400480](#)
Parcel Number: 4006138147015
Owner: COLEMAN PAGE
Mail Address: 430 WASHINGTON ST
NE
Subdivision: CARREON TRACTS (BK
18 PG 89 - 9413667)
Property Address: 2424 CALLE DE
PARIAN
Acres: 0



**NORTHEAST SIDE OF THE PROPERTY FROM THE NEIGHBORING PROPERTY
SHOWING THE PROPOSED LOCATION OF PART OF THE WALL**



**REAR SIDE OF THE PROPERTY SHOWING THE PROPOSED WALL LOCATION
FROM THE NEIGHBORING PROPERTY**





2424 CALLE DE PARIAN



NOTE:
 FLOOD ZONE "X"; AREAS DETERMINED TO BE OUTSIDE
 500-YEAR FLOOD PLAIN, AS PER MAP NO. 35013C1093G
 EFFECTIVE 7/06/16

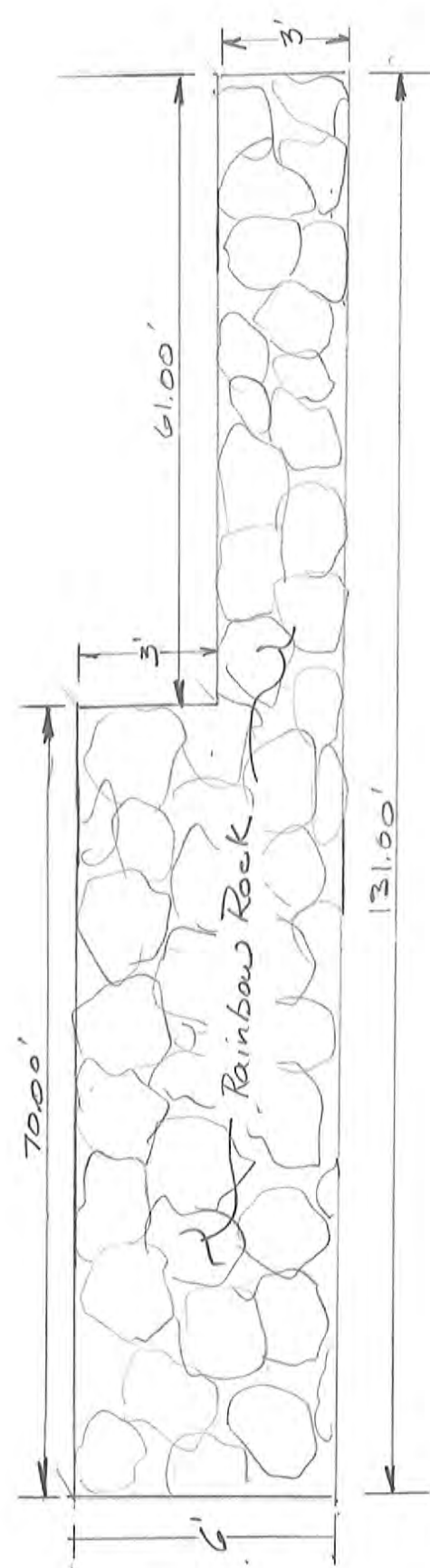
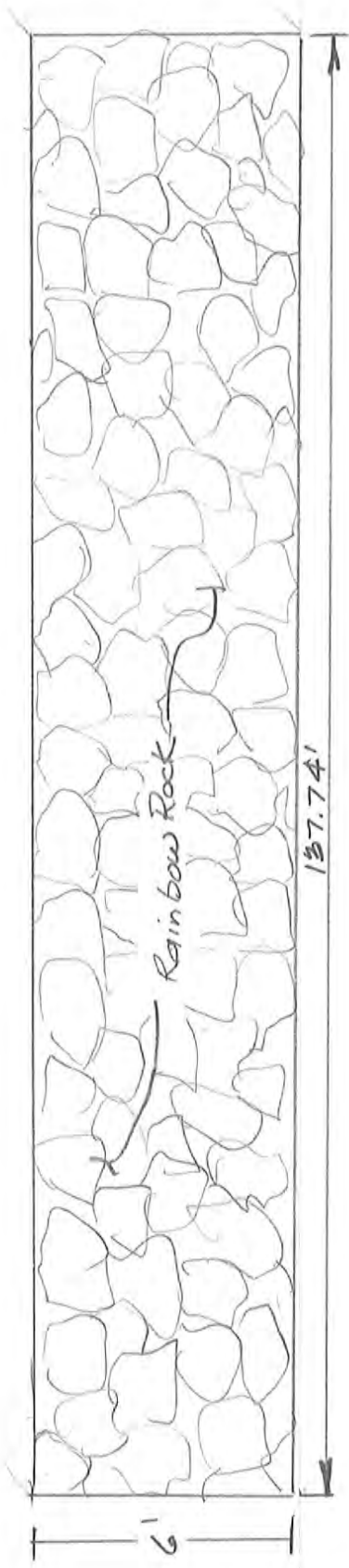
**PLAT OF SURVEY OF LOT E
 CARREON TRACTS SUBDIVISION**

Not For Construction Purposes
 Filed 6/3/1994 in Bk. 18 Pg. 89,
 City of Las Cruces, Dona Ana County,
 New Mexico. Date of Survey 8/1/2018.

I certify, as a licensed surveyor in
 the State of New Mexico, that this
 plat meets or exceeds the standards
 for land surveys in New Mexico.
Gerald K. Donohue
 GERALD K. DONOHUE P.L.S. 8172

DONOHUE LAND SURVEYS
 100 WYATT DRIVE
 SUITE A
 LAS CRUCES, NM 88005
 1-575-528-1114

A large, stylized handwritten signature of Gerald K. Donohue is located at the bottom right of the page.



060938
\$ 250.00

TOWN OF MESILLA
APPLICATION FOR RESIDENTIAL BUILDING PERMIT
2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (505)524-3262 extension 109

CASE NO. 060938 ZONE: HR CODE: 41 APPLICATION DATE: 7/23/09

Cecilia Quintana
Rose Coleman
Name of Applicant Telephone Number 505-280-0084

2424 Calle de Parian Mesilla NM 88046
Street Address City State Zip Code

Mesilla Valley Consultants LLC 4421 Elks Dr. Las Cruces NM
Contractor Name and Address

575-915-4419 Contractor Telephone Number Contractor Tax I.D. Number Contractor License #

LOCATION & DESCRIPTION OF PROPOSED WORK:
Rear and SE side of property lot. Construct 205 ft of 6' rock wall and 60' ft of 3' ft rock wall.

Estimated Cost:
\$ 20,000.00

Cecilia Quintana
Signature of Applicant Date: 7-16-2019

With the exception of administrative approvals, all permit applications must undergo a review process from staff, PZHAC and BOT before issuance of a building permit.
Recorded proof of ownership with legal description of property (deed or current tax bill) along with verification of legally subdivided status of the property are required.
Plan sheets are to be no larger than 11 x 17 inches.

PZHAC Administrative Approval Approved Disapproved Approved with conditions
BOT Approved Disapproved Approved with condition

CONDITIONS: PZHAC REVIEW + BOT FINAL APPROVAL REQ'D

FEE: REVIEW: 250.00 ISSUE DATE: _____
PERMIT: _____ -ISSUE DATE: _____

This application includes:

1. Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was legally subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
2. Foundation Plan with details
3. Floor Plans showing rooms, their uses and dimensions
4. Cross Sections of walls.
5. Roof and floor framing plan. (If manufactured trusses, submit layout of trusses and stamped engineer design plan.)
6. Drainage plan.
7. Architectural style and color scheme (Historical and commercial zones only.)
8. Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from Public Utility providing water service.)

**PZHAC WORK SESSION
AUGUST 5, 2018
ITEM 3**

Submitted by Suzanne M. Brannan for Joseph W. Rogers; a request to discuss plans to eliminate a lot line between two parcels to create one parcel at 306 Capri Arc. (**Case 060940**) Zoned: Single Family Residential (R-1)

The current properties consist of two properties, one of which contains the applicant's dwelling and is 16337 square feet in size (0.38 acres) and the other which is vacant and is 6226 square feet in size (0.14 acres), for a total of 22,563 square feet (0.52 acres). The applicant owns both properties and would like to combine these two properties by eliminating the existing lot line between the two properties. There will no changes to the use of the final property. The applicant no longer lives on the property and would like to combine the properties in order to be able to sell the property more efficiently. (Ms. Brannan is Mr. Rogers' daughter and is representing him in this case.)

Attached are surveys showing the existing lot lines and the proposed lot lines, photos of the properties, and legal descriptions of the properties involved in this case.

This summary subdivision will result in two lots being combined into one lot, with no additional lots being created. Also, there will be no adverse effect to neighboring lots.

CONSISTENCY WITH THE CODE:

The request is being presented under the Alternate Summary Subdivision Procedure because there are no other procedures in the Town of Mesilla Subdivision or Zoning Codes that address replats of lot lines in which no new lots are created, nor are there any changes to the boundaries of neighboring properties. The request is consistent with the following section of the Code:

Chapter 17.35 - ALTERNATE SUMMARY PROCEDURE

MTC 17.35.010 Requirements.

- A. Plats of survey with a metes and bounds description with a minimum scale of one inch equals 100 feet certified by a registered land surveyor in the state of New Mexico with accompanying land description will be a suitable means of description for the purposes of this chapter. Final **approved** plats shall be submitted on 18-inch by 24-inch reproducible mylar. (**This will be done upon approval of this request.**)

- B. Disclosure statements will not be required unless specifically requested by the planning commission.

The applicant will be present at the work session to provide further details about the proposed combining of the lots and will be available to answer any questions that may arise.

Doña Ana County, NM

General Reference Maps

2014 Aerial | Addresses | County Address Points

Select Search Type: Enter Value:

Maps | Legend

Map Themes

| |
|-----------------------------|
| Parcels |
| UDC Zoning |
| Roads and Transportation |
| NM House Districts |
| NM Senate Districts |
| County Commission Districts |
| City Council Districts |
| Median Household Income |
| General Land Ownership |

Account Number: [R0400749](#)
Parcel Number: 4007137159419
Owner: ROGERS JOSEPH W
Mail Address: 306 CAPRI ARC
Subdivision: MESILLA PARK MANOR
PL 3C 622
Property Address: 306 CAPRI ARC
Acres: 0



Doña Ana County, NM

General Reference Maps

2014 Aerial | Addresses | County Address Points

Select Search Type: Enter Value:

Maps | Legend

Map Themes

- Parcels
- UDC Zoning
- Roads and Transportation
- NM House Districts
- NM Senate Districts
- County Commission Districts
- City Council Districts
- Median Household Income
- General Land Ownership

Account Number: [R0400751](#)
Parcel Number: 4007137160413
Owner: ROGERS JOSEPH W
Mall Address: 306 CAPRI ARC
Subdivision: MESILLA PARK MANOR
PL 3C 622
Property Address: 306 CAPRI ARC
Acres: 0



PHOTO OF THE LARGER PROPERTY CONTAINING THE APPLICANT'S DWELLING



PHOTO OF THE SMALLER VACANT PROPERTY ADJECENT TO THE LARGER PROPERTY



NEW MEXICO STATUTORY FORM POWER OF ATTORNEY

IMPORTANT INFORMATION

This power of attorney authorizes another person (your agent) to make decisions concerning your property for you (the principal). Your primary, or first named, agent will be able to make decisions and act with respect to your property (including your money) whether or not you are able to act for yourself. If your primary agent is unwilling or unable, your successor agent will be able to make decisions and act with respect to your property whether or not you are able to act for yourself. The meaning of authority over subjects listed on this form is explained in the Uniform Power of Attorney Act, NMSA 1978, §§ 45-5B-101 through 45-5B-403.

This power of attorney does not authorize the agent to make health care decisions for you.

You should select someone you trust to serve as your agent. Unless you specify otherwise, generally the agent's authority will continue until you die or revoke the power of attorney or the agent resigns or is unable to act for you.

Your agent is entitled to reasonable compensation unless you state otherwise in the Special Instructions.

This form provides for designation of an agent; you may name successor agents.

If your primary agent is unable or unwilling to act for you, your power of attorney will end unless you have named a successor agent.

This power of attorney is effective immediately.

If you have questions about the power of attorney or the authority you are granting to your agent, you should seek legal advice before signing this form.



COUNTY OF DONA ANA) STATUTORY POWER OF A
STATE OF NEW MEXICO) ss PAGES: 7

I Hereby Certify That This Instrument Was Filed for
Record On MAR 14, 2012 02:47:05 PM
And Was Duly Recorded as Instrument # 1206555
Of The Records Of Dona Ana County



Witness My Hand And Seal Of Office,
Lynn J. Ellins, County Clerk, Dona Ana, NM

Page 1 of 7 Deputy

Reena Rodriguez

DESIGNATION OF AGENT

I, **Joseph Wilson Rogers a/k/a Joseph W. Rogers** (d/o/b: 10/13/1925), currently of 306 Capri Arc, Las Cruces, New Mexico 88005, name the following person as my primary agent:

Name of Primary Agent: **Suzanne Marie Brannan** (d/o/b: 4/3/1961)
Primary Agent's Current Address: 12304 Pine Ridge NE, Albuquerque, New Mexico 87112
Primary Agent's Telephone Number: home telephone: (505) 294-3644, cell telephone: (505) 228-4269

DESIGNATION OF SUCCESSOR AGENT(S) (OPTIONAL)

If my primary agent is unable or unwilling to act for me, I name as my successor agent:

Name of Successor Agent: **Jefferson Sanford Rogers** (d/o/b: 9/14/1962)
Successor Agent's Current Address: Post Office Box 827, Martin, Tennessee 38237
Successor Agent's Telephone Number: home telephone: (731) 588-0035, work telephone: (731) 881-7430

GRANT OF GENERAL AUTHORITY

I grant my agent and any successor agent general authority to act for me with respect to the following subjects as defined in the Uniform Power of Attorney Act, NMSA 1978, §§ 45-5B-101 through 45-5B-403:

(**INITIAL** each subject you want to include in the agent's general authority. If you wish to grant general authority over all of the subjects, you may initial "All Preceding Subjects" instead of initialing each subject.)

- Real Property
- Tangible Personal Property
- Stocks and Bonds
- Commodities and Options
- Banks and Other Financial Institutions
- Operation of Entity or Business
- Insurance and Annuities
- Estates, Trusts and Other Beneficial Interests
- Claims and Litigation

- Personal and Family Maintenance
- Benefits from Governmental Programs or Civil or Military Service
- Retirement Plans
- Taxes
- All Preceding Subjects**

GRANT OF SPECIFIC AUTHORITY (OPTIONAL)

My agent MAY NOT do any of the following specific acts for me UNLESS I have INITIALED the specific authority listed below:

(CAUTION: Granting any of the following will give your agent the authority to take actions that could significantly reduce your property or change how your property is distributed at your death. INITIAL ONLY the specific authority you WANT to give your agent.)

- Create or terminate an inter vivos trust
- Make a gift, subject to the limitations of Section 217 of the Uniform Power of Attorney Act, NMSA 1978, §§ 45-5B-101 through 45-5B-403, and any special instructions in this power of attorney
- Create or change rights of survivorship
- Create or change a beneficiary designation
- Authorize another person to exercise the authority granted under this power of attorney
- Waive the principal's right to be a beneficiary of a joint and survivor annuity, including a survivor benefit under a retirement plan
- Exercise fiduciary powers that the principal has authority to delegate
- Disclaim or refuse an interest in property, including a power of appointment

LIMITATION ON AGENT'S AUTHORITY

An agent that is not my ancestor, spouse or descendant MAY NOT use my property to benefit the agent or a person to whom the agent owes an obligation of support unless I have included that authority in the Special Instructions.

SPECIAL INSTRUCTIONS (OPTIONAL)

You may give special instructions in the following space: **I hereby revoke any power of attorney signed by me prior to this date for the authorities granted herein.**

EFFECTIVE DATE

This power of attorney is effective immediately; this power of attorney is intended to be durable, and the authority of an agent shall extend through any disability or incapacity sustained by or affecting me.

NOMINATION OF CONSERVATOR OR GUARDIAN (OPTIONAL)

If it becomes necessary for a court to appoint a conservator of my estate or guardian of my person, I nominate the following person(s) for such appointments:

Name of Primary Nominee for conservator of my estate: **Suzanne Marie Brannan**
Primary Nominee's Current Address: 12304 Pine Ridge NE, Albuquerque, New Mexico 87112
Primary Nominee's Telephone Number: home telephone: (505) 294-3644, cell telephone: (505) 228-4269

If my Primary Nominee for conservator of my estate is unable or unwilling to act, I nominate as my alternate for appointment as conservator of my estate:

Name of Alternate Nominee for conservator of my estate: **Jefferson Sanford Rogers**
Alternate Nominee's Current Address: Post Office Box 827, Martin, Tennessee 38237
Alternate Nominee's Telephone Number: home telephone: (731) 588-0035, work telephone: (731) 881-7430

Name of Primary Nominee for guardian of my person: **Suzanne Marie Brannan**
Primary Nominee's Current Address: 12304 Pine Ridge NE, Albuquerque, New Mexico 87112
Primary Nominee's Telephone Number: home telephone: (505) 294-3644, cell telephone: (505) 228-4269

If my Primary Nominee for guardian of my person is unable or unwilling to act, then I nominate as my alternate nominee for appointment as guardian of my person:

Name of Alternate Nominee for guardian of my person: **Jefferson Sanford Rogers**

Alternate Nominee's Current Address: Post Office Box 827, Martin, Tennessee 38237

Alternate Nominee's Telephone Number: home telephone: (731) 588-0035, work telephone: (731) 881-7430

RELIANCE ON THIS POWER OF ATTORNEY

Any person, including my agent, may rely upon the validity of this power of attorney or a copy of it unless that person knows it has terminated or is invalid.

SIGNATURE AND ACKNOWLEDGMENT

Your Signature: Joseph W. Rogers

Date: March 14, 2012

Your Name Printed: **Joseph Wilson Rogers a/k/a Joseph W. Rogers**

Your Current Address: 306 Capri Arc, Las Cruces, New Mexico 88005

Your Telephone Number: (575) 524-3281

State of New Mexico

ss.

County of Doña Ana

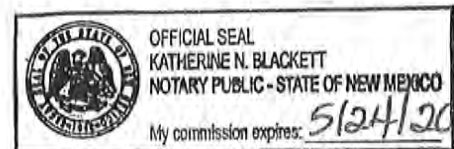
This instrument was acknowledged before me on March 14, 2012, by Joseph Wilson Rogers a/k/a Joseph W. Rogers.

(Seal)

Signature of notarial officer:

Katherine N. Blackett

Notary Public



IMPORTANT INFORMATION FOR AGENT

Agent's Duties

When you accept the authority granted under this power of attorney, a special legal relationship is created between you and the principal. This relationship imposes upon you legal duties that continue until you resign or the power of attorney is terminated or revoked. You must:

1. do what you know the principal reasonably expects you to do with the principal's property or, if you do not know the principal's expectations, act in the principal's best interest;

2. act in good faith;

3. do nothing beyond the authority granted in this power of attorney; and

4. disclose your identity as an agent whenever you act for the principal by writing or printing the name of the principal and signing your own name as "agent" in the following manner: by _____ (name) as Agent of _____ (Principal's Name),
_____ (Your Signature)

Unless the Special Instructions in this power of attorney state otherwise, you must also:

1. act loyally for the principal's benefit;

2. avoid conflicts that would impair your ability to act in the principal's best interest;

3. act with care, competence and diligence;

4. keep a record of all receipts, disbursements and transactions made on behalf of the principal;

5. cooperate with any person that has authority to make health care decisions for the principal to do what you know the principal reasonably expects or, if you do not know the principal's expectations, to act in the principal's best interest; and

6. attempt to preserve the principal's estate plan if you know the plan and preserving the plan is consistent with the principal's best interest.

Termination of Agent's Authority

You must stop acting on behalf of the principal if you learn of any event that terminates this power of attorney or your authority under this power of attorney.

Events that terminate a power of attorney or your authority to act under a power of attorney include:

1. death of the principal;
2. the principal's revocation of the power of attorney or your authority;
3. the occurrence of a termination event stated in the power of attorney;
4. the purpose of the power of attorney is fully accomplished; or
5. if you are married to the principal, a legal action is filed with a court to end your marriage, or for your legal separation, unless the Special Instructions in this power of attorney state that such an action will not terminate your authority.

Liability of Agent

The meaning of the authority granted to you is defined in the Uniform Power of Attorney Act, NMSA 1978, §§ 45-5B-101 through 45-5B-403. If you violate the Uniform Power of Attorney Act NMSA 1978, §§ 45-5B-101 through 45-5B-403, or act outside the authority granted, you may be liable for any damages caused by your violation.

If there is anything about this document or your duties that you do not understand, you should seek legal advice.

SUBDIVISION APPLICATION

OFFICIAL USE ONLY:

Case # 060940

Fee \$ 150.00

CASE NO. 060940 ZONE: R-1 CODE: SUB APPLICATION DATE: 7/23/19

Preliminary Plat Summary Subdivision Final Plat Vacation of Lot Line

Suzanne M. Brannan (505)228-4269
Name of Applicant Applicant's Telephone/Cell Number

12304 Pine Ridge Ave, NE Albuquerque, NM 87112
Mailing Address City State Zip Code

Joseph W. Rogers (306 Capri Arc Las Cruces, NM 88005)
Owner of Record: Address City State Zip Code

N/A
Name of Engineer License # of Engineer Address Telephone/Cell Number

Emerick
Name of Architect License # of Architect Address Telephone/Cell Number

Mesilla Park Manor Mesilla Park
Subdivision Name Subdivision Location

Total Acreage 22,563.00 Number of Lots: 2
Acreage of Largest Lot 16,337.00 Acreage of Smallest Lot: 6,226.00
Legal Description _____

Tax Map Property Code (s) PC 04-00749 PC 04-00751 Jacob's Map # _____

A ZONE CHANGE, VARIANCE, EXEMPTION, OR SPECIAL PERMIT IS ALSO BEING REQUESTED WITH THIS PROPERTY.

EXPLAIN: _____

By signing this application, you hereby acknowledge that ALL the information submitted on and with this application is true and correct to the best of your knowledge and that all provisions of the Town of Mesilla shall be met. No application will be accepted without the original signature of the owner(s) of record of the described property. If more than one owner, ALL owners must sign the application. (Attached an additional sheet if necessary).

Owner(s) Suzanne M. Brannan Suzanne M Brannan Date July 23, 2019
Applicant(s) (if different than owner) _____ Date _____

FOR OFFICIAL USE ONLY

PZHAC Administrative Approval BOT Approved Date: _____
 Approved Date: _____ Disapproved Date: _____
 Disapproved Date: _____ Approved with Conditions
 Approved with conditions

CONDITIONS: _____

**PZHAC WORK SESSION
AUGUST 5, 2018
ITEM 4**

Submitted by Felix Armijo; a request to discuss plans to add a walk-in freezer to a restaurant structure (Café Don Felix) at 2290 Calle de Parian, Suite D. (**Case 060942**) Zoned: Historical Commercial (HC)

Mr. Armijo would like to discuss his plans to add additions to the restaurant at this address in order to house a walk-in freezer and refrigerator with a food prep area. The addition will be on the south side of the existing structure and will be about 12 feet by 34 feet for a total of about 408 square feet. Access will be directly from the restaurant, and by a door to the exterior of the building. The exterior of the addition will be finished to match the exterior of the existing structure. Run-off will be directed toward a part of the property that contains an existing excavation that was once the basement to another structure on the property. This excavation is currently being used to contain storm water run-off.

The overall purpose of this addition is to allow the restaurant to expand its capabilities and be more viable as a restaurant. The addition will not affect any of the businesses currently in other parts of the building, and will not have a detrimental affect on other neighboring properties. All required setbacks will be met, and the addition will have minimal affect on the appearance of the structure provided that it is finished to match the existing structure.

Attached is information about the structure from the Historical Register. According to the register, the structure was built in 1947 and, at the time the Register was compiled in 1980, was considered architecturally neutral to the area.

Also attached are photos that show the existing structure, as well as plans showing the work to be done.

Estimated Cost: @ 7,500.00

Consistency with the Code:

The PZHAC will need to determine that the proposed addition will be compatible with the surrounding properties and that the proposed addition will not change the style of the dwelling or have a negative effect on neighboring properties.

If approved, the PZHAC will need to determine that the request, as submitted, is consistent with the all other sections of the **Building and Zoning Codes** that may be applied to this project.

The applicant will be present at the work session to provide further details about the proposed construction and to answer any questions that may arise.

PHOTO OF PROPERTY FROM CALLE PRINCIPAL SHOWING PROPOSED LOCATION



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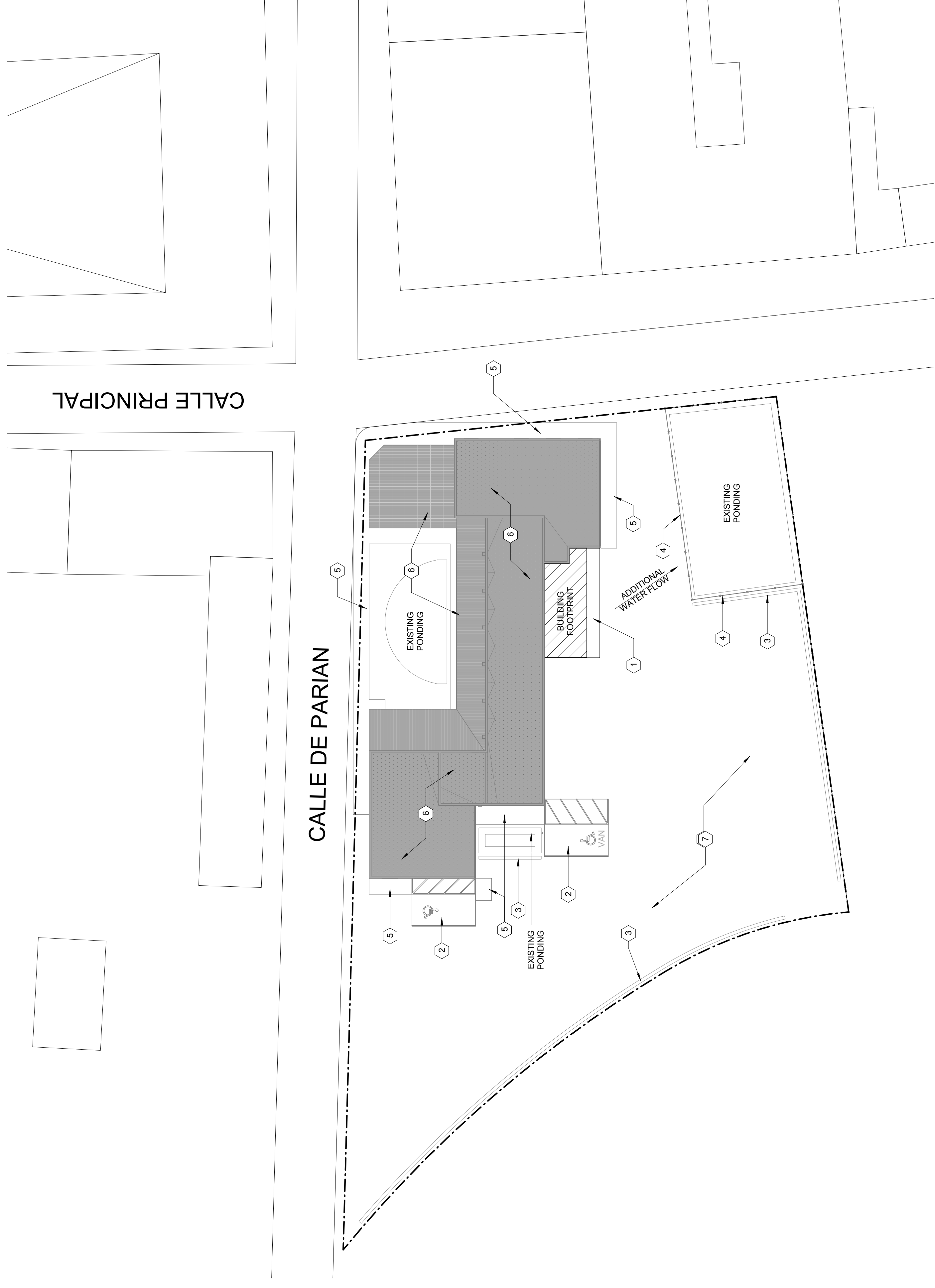
5

GENERAL NOTES

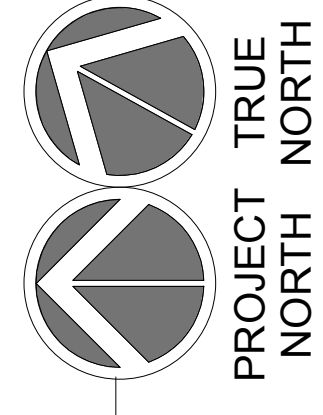
1. THE EXISTING SITE AND ROOF DRAINAGE IS TO REMAIN. THE ADDITIONAL ROOF DRAINAGE SHALL BE DIRECTED TO THE SOUTHEAST POND.
2. ROOF DRAIN DIMENSIONS ARE FOR GENERAL INTENT OF LOCATION. THE ROOF DRAIN DIMENSIONS SHALL BE ADJUSTED TO MATCH THE EXISTING ROOF WITH STRUCTURAL FRAMING. IF REQUIRED, ROOF DRAIN LOCATIONS SHALL BE ADJUSTED AS REQUIRED TO AVOID CONFLICTS WITH STRUCTURAL FRAMING.

KEYNOTE LEGEND

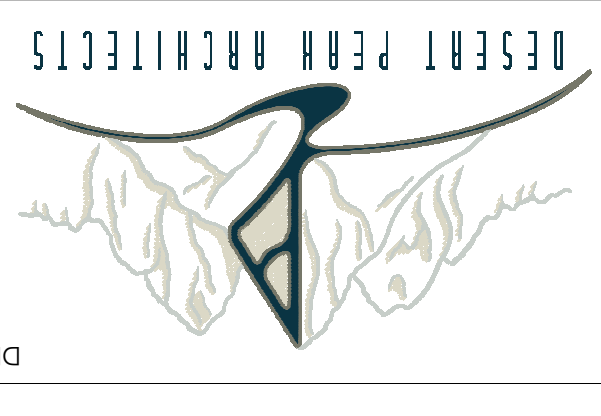
1. CAST-IN-PLACE CONCRETE SIDEWALK
2. EXISTING PARKING SPACE TO REMAIN. NO WORK IN THIS AREA
3. EXISTING PARKING SPACE VEHICLE BARRIER TO REMAIN. NO WORK IN THIS AREA
4. EXISTING FENCE TO REMAIN
5. EXISTING SIDEWALK TO REMAIN
6. EXISTING ROOFING SYSTEM AND EQUIPMENT TO REMAIN. NO WORK IN THIS AREA
7. EXISTING PARKING LOT AND GRADING TO REMAIN. NO WORK IN THIS AREA



A1 ARCHITECTURAL SITE PLAN
 A100 1" = 20'-0"



PROJECT
CAFÉ DON FÉLIX
REFRIGERATOR ADDITION
 2290 CALLE DE PARIAN
 MESILLA, NEW MEXICO 88046



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PROJECT NO. 485-01
 SHEET TITLE
 ARCHITECTURAL SITE PLAN
 SHEET NO. **A100**

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GENERAL NOTES

- REFER TO PARTITION SHEET FOR GENERAL PARTITION NOTES.
- ALL DIMENSIONS ARE TO FACE OF STUD OR MASONRY. WINDOW AND DOOR DIMENSIONS ARE TO EDGE OF OPENING.

KEYNOTE LEGEND

- WALL MOUNTED SHELVING
- REFRIGERATOR/FREEZER UNIT - PROVIDED BY OWNER
- EXISTING DOOR TO REMAIN.
- EXISTING WINDOW TO REMAIN.
- EXISTING WALL TO REMAIN.
- 8" ADOBE WALL. MATCH EXISTING FINISH AND COLOR.
- 6" STEEL STUDS, 16" O.C. MAXIMUM

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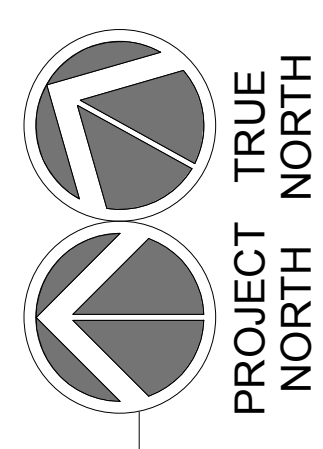
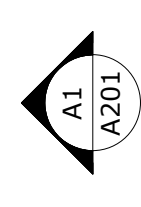
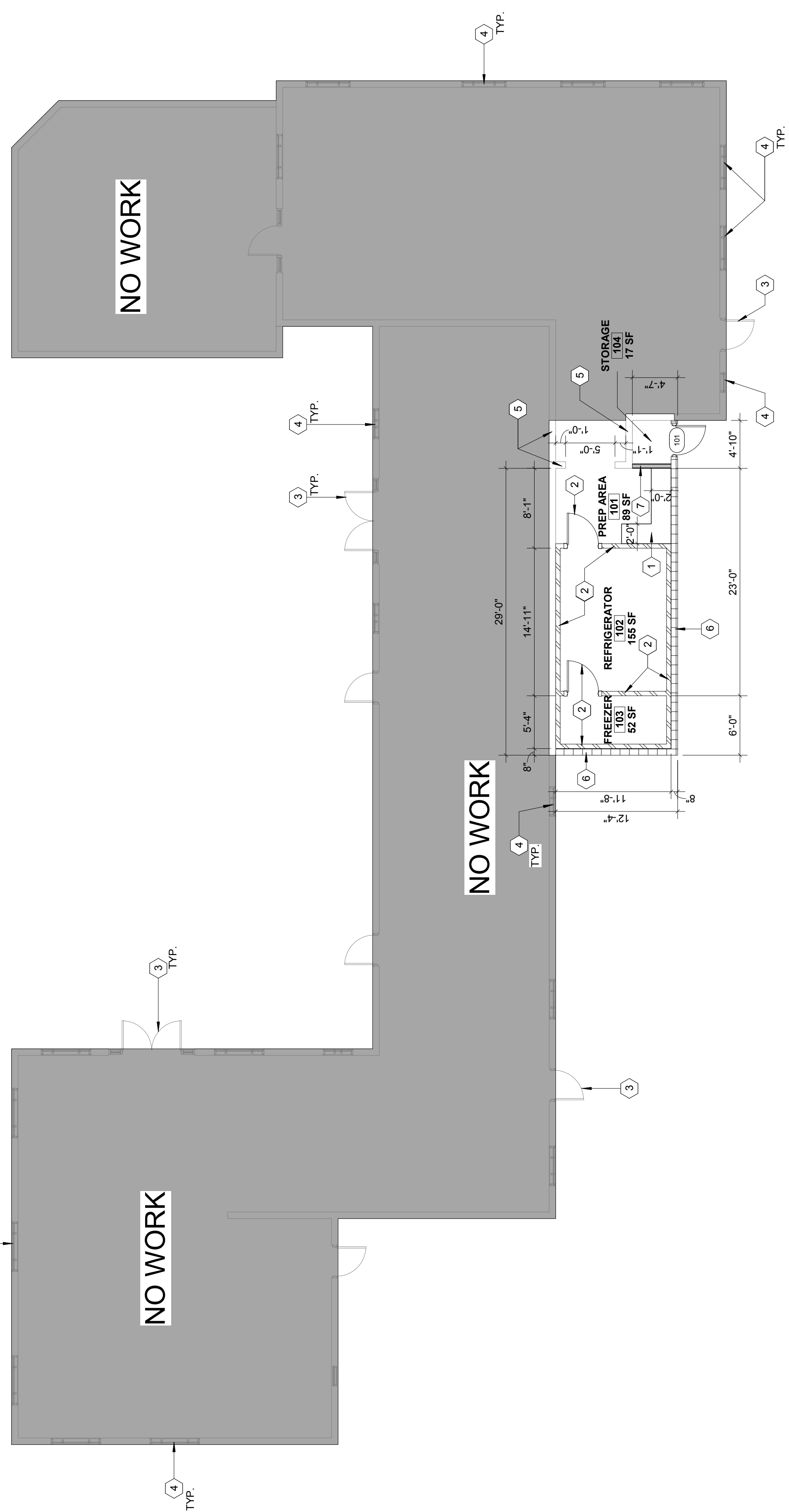


PROJECT
CAFÉ DON FÉLIX
REFRIGERATOR ADDITION
 2290 CALLE DE PARIAN
 MESILLA, NEW MEXICO 88046

PROJECT NO.
 486-01

SHEET TITLE
 FLOOR PLAN

SHEET NO.
A101



A1 FIRST FLOOR PLAN
 A101 1/8" = 1'-0"

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GENERAL NOTES

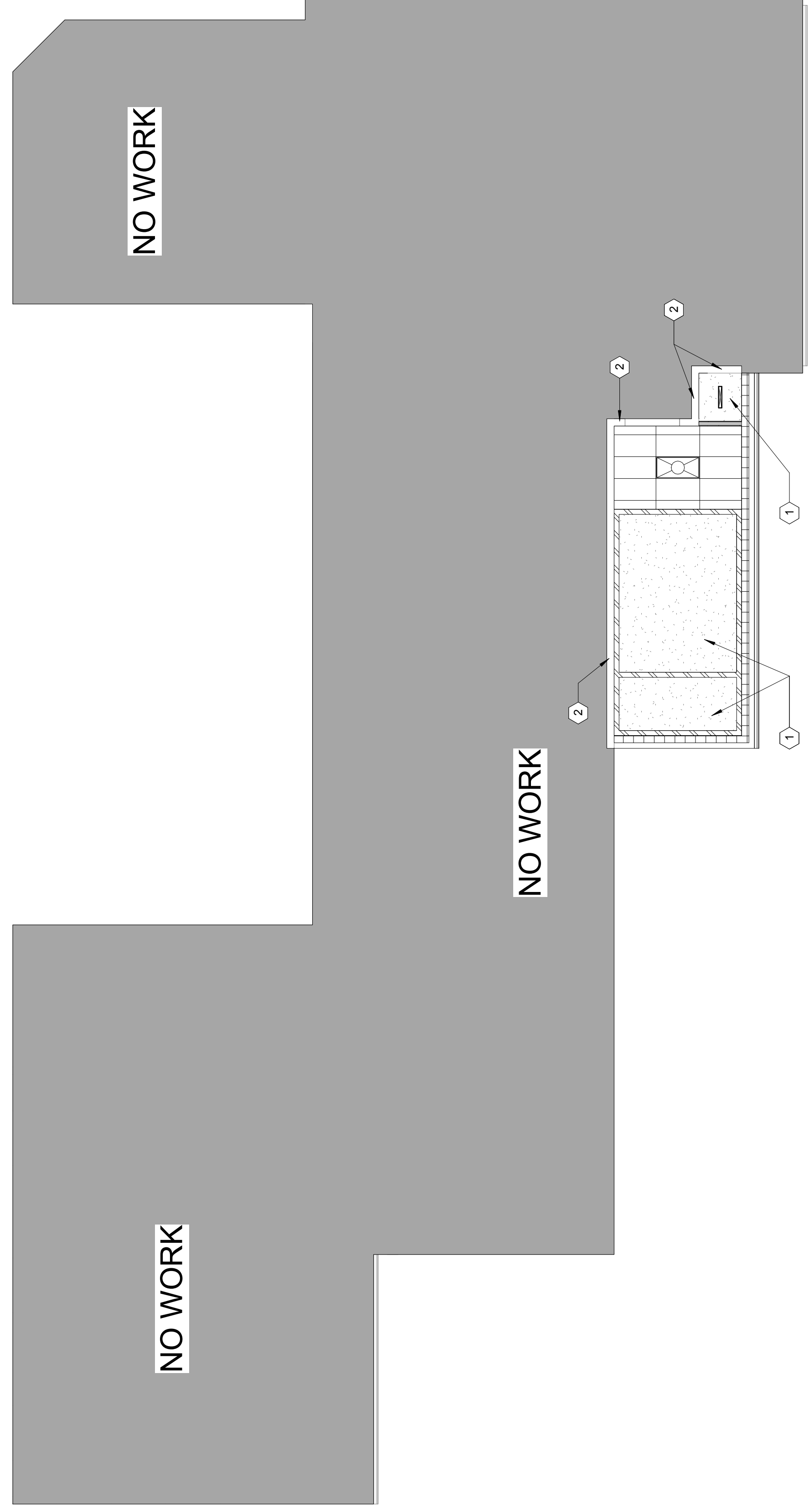
1. ALL SPRINKLER HEADS, ELECTRICAL COMMUNICATIONS, AND LIFE SAFETY DEVICES TO FALL IN THE CENTER OF CEILING TILES.
2. ALL MECHANICAL, ELECTRICAL, AND PLUMBING EQUIPMENT TO BE LOCATED IN ROOMS AND WORK OUTWARD, UNLESS NOTED OTHERWISE.
3. CONTRACTOR SHALL COORDINATE WITH ALL MECHANICAL, ELECTRICAL, AND PLUMBING ENGINEERING SHEETS FOR ADDITIONAL CEILING MOUNTED EQUIPMENT.

KEYNOTE LEGEND

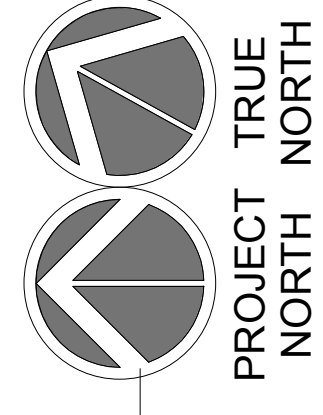
1. SCHEDULED CEILING
2. EXISTING WALL TO REMAIN.

RCP LEGEND

- SCHEDULED GYPSUM BOARD
- SCHEDULED ACOUSTICAL TILE CEILING 24" x 48"
- 24" LIGHT FIXTURE - REF ELECTRICAL SHEETS.
- 24" LIGHT FIXTURE - REF ELECTRICAL SHEETS.

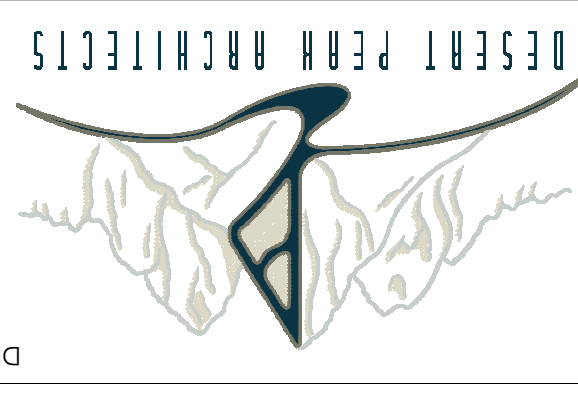


A1 FIRST FLOOR REFLECTED CEILING PLAN
 A121 1/8" = 1'-0"



PROJECT
CAFÉ DON FÉLIX
REFRIGERATOR ADDITION
 2290 CALLE DE PARIAN
 MESILLA, NEW MEXICO 88046

PROJECT NO. 486-01
 SHEET TITLE
 FIRST FLOOR REFLECTED
 CEILING PLAN
 SHEET NO. **A121**



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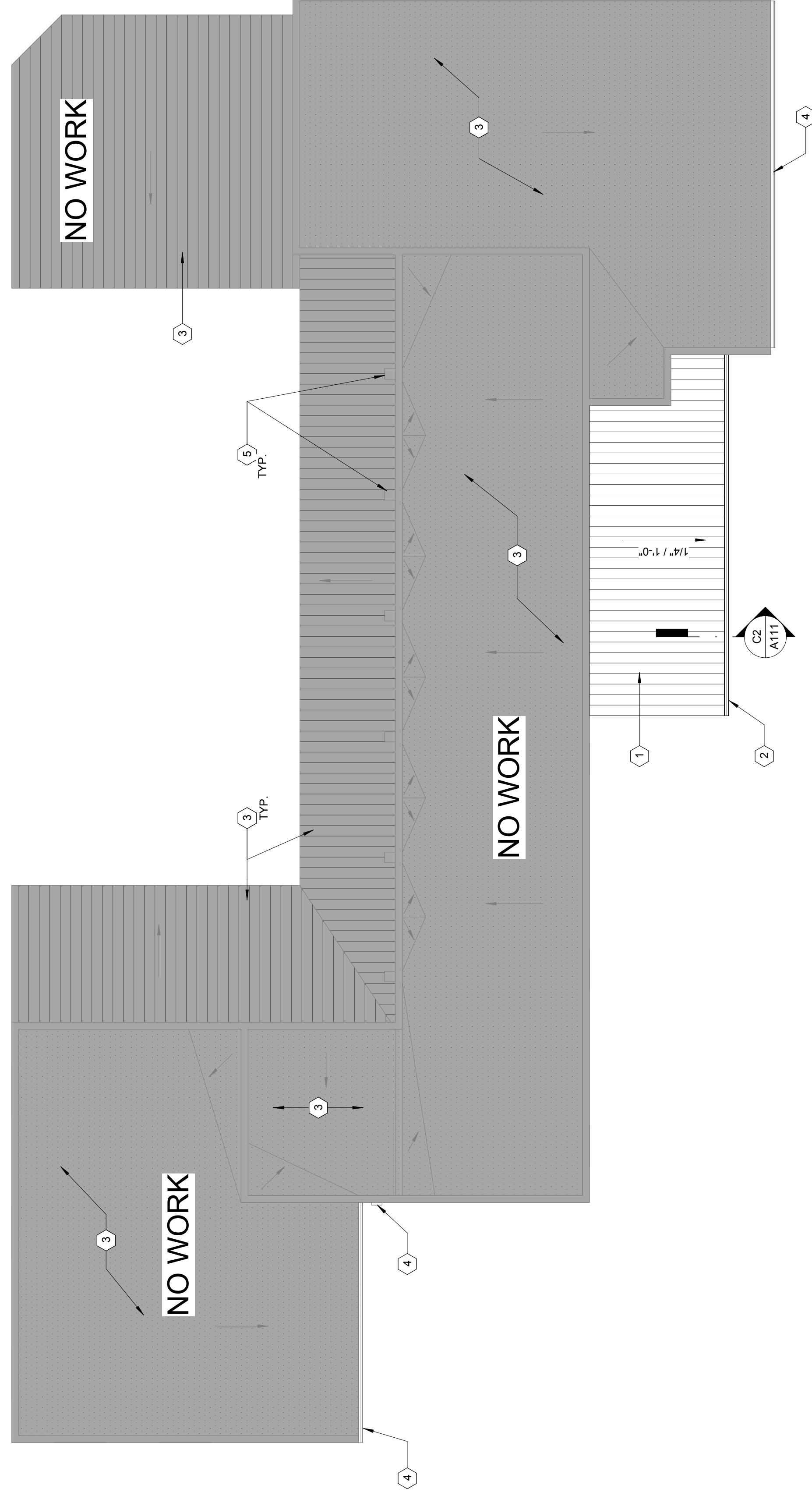
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GENERAL NOTES

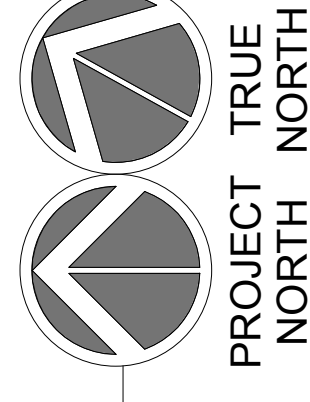
1. THE INTENT OF THE DETAILING SHOWN WITHIN THIS PROJECT IS TO REPRESENT THE MINIMUM STANDARD OF UNDERLAYMENT, FLASHINGS, TRIMS, ETC. REQUIRED TO ACHIEVE THE SPECIFIED WARRANTY PERIOD. THE CONTRACTOR SHALL COORDINATE WITH PLUMBING AND MECHANICAL WORK IN THIS PROJECT TO DETERMINE EXTENT OF PLUMBING/MECHANICAL ROOF EQUIPMENT AND PENETRATIONS.
2. AT ALL ROOF MOUNTED EQUIPMENT AND PENETRATIONS, THE GENERAL CONTRACTOR SHALL COORDINATE WITH MECHANICAL & ROOFING SUBCONTRACTORS TO DETERMINE THE LOCATION AND QUANTITIES OF VENT-THRU-ROOF AND FLUE PENETRATIONS.
3. ALL PENETRATIONS THROUGH METAL ROOF ASSEMBLIES SHALL BE CENTERED IN METAL ROOF PANELS. NO PENETRATIONS ARE ALLOWED WITHIN SEAMS OF METAL ROOF PANELS. THE PLUMBING CONTRACTOR SHALL COORDINATE PENETRATIONS WITH THE PLUMBING CONTRACTOR TO DETERMINE THE LOCATION AND QUANTITIES OF PENETRATIONS THROUGH METAL ROOF ASSEMBLIES. COORDINATE FLASHING WORK WITH THE PLUMBING CONTRACTOR TO DETERMINE THE LOCATION AND QUANTITIES OF PIPE FLASHING BOOT FLANGE.
4. ALL ROOF PENETRATION AND FLASHING WORK SHALL BE THE RESPONSIBILITY OF ROOFING CONTRACTOR AND SHALL BE COVERED AS PART OF THE MANUFACTURERS WARRANTY.
5. PROVIDE TAPERED INSULATION CRICKETS AT HIGH SIDES OF ALL ROOF MOUNTED EQUIPMENT, SKYLIGHTS, CORNERS, ETC. AND ALONG WALLS AS REQUIRED TO PROVIDE POSITIVE DRAINAGE. SLOPE FOR ALL CRICKETS SHALL MATCH THE ADJACENT ROOF ASSEMBLY. SLOPE = 1/2" PER FOOT CRICKET. CRICKETS AT NEW ROOF PENETRATIONS ARE SHOWN FOR REFERENCE ONLY AND ARE NOT TO SCALE. REFER TO THE MANUFACTURERS INSTALLATION MANUAL FOR CRICKET TERMINATIONS, COPINGS, EDGE METAL SHALL MEET ES-1 STANDARDS.
6. ROOF DRAINS ARE DIMENSIONS ARE FOR GENERAL INTENT OF LOCATION. THE ROOFING AND PLUMBING CONTRACTOR SHALL COORDINATE THE EXACT LOCATION WITH THE PLUMBING CONTRACTOR TO DETERMINE THE EXACT LOCATION. BE ADJUSTED AS REQUIRED TO AVOID CONFLICTS WITH STRUCTURAL FRAMING.

KEYNOTE LEGEND

1. STANDING SEAM METAL ROOF PANELS
2. GUTTER
3. EXISTING ROOFING SYSTEM AND EQUIPMENT TO REMAIN
4. EXISTING ROOFING GUTTER AND DOWNSPOUTS TO REMAIN
5. EXISTING ROOF SCUPPER TO REMAIN



A1 ROOF PLAN
A131 1/8" = 1'-0"



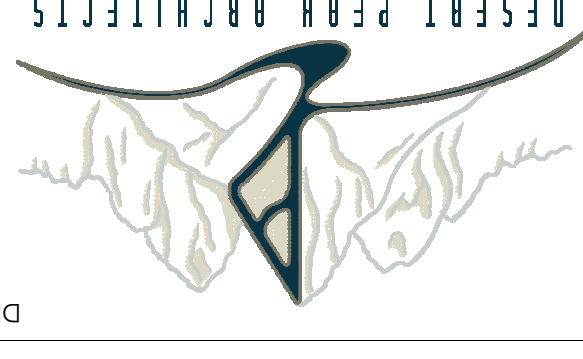
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PROJECT
Café Don Félix
Refrigerator Addition
2290 Calle de Parian
Mesilla, New Mexico 88046

PROJECT NO. 486-01

SHEET TITLE ROOF PLAN

SHEET NO. A131



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GENERAL NOTES

- A. REFER TO WINDOW TYPE LEGEND FOR WINDOW SIZES.
- B. SEAL ALL PENETRATIONS AT EXTERIOR WALLS THROUGH RIGID CONTINUOUS INSULATION WITH AN EQUAL OR BETTER FIRE RATING OF THE WALLS.
- C. SEAL ALL PENETRATIONS THROUGH FIRE RATED WALLS WITH FIRE STOPPING THAT MEETS OR EXCEEDS THE FIRE RATING OF THE WALLS.
- D. REFER TO ELECTRICAL FOR EXTERIOR LIGHT FIXTURES

KEYNOTE LEGEND

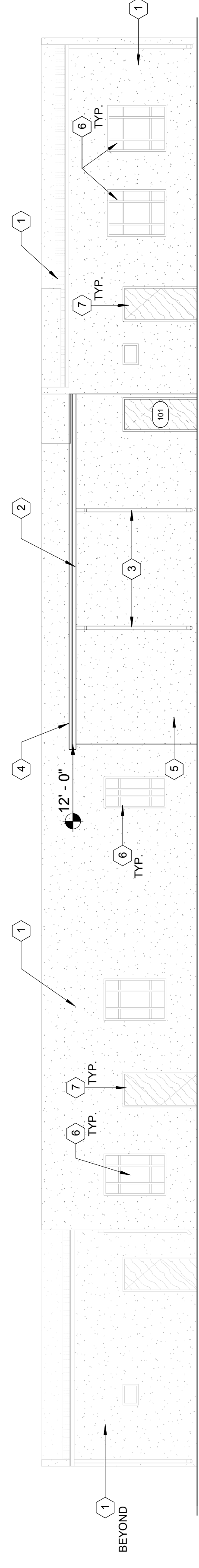
- 1 EXISTING CONSTRUCTION TO REMAIN
- 2 GUTTER
- 3 DOWNSPOUT
- 4 STANDING SEAM METAL ROOF PANELS
- 5 NEW STUCCO FINISH TO MATCH EXISTING BUILDING
- 6 EXISTING WINDOW TO REMAIN.
- 7 EXISTING DOOR TO REMAIN.

D

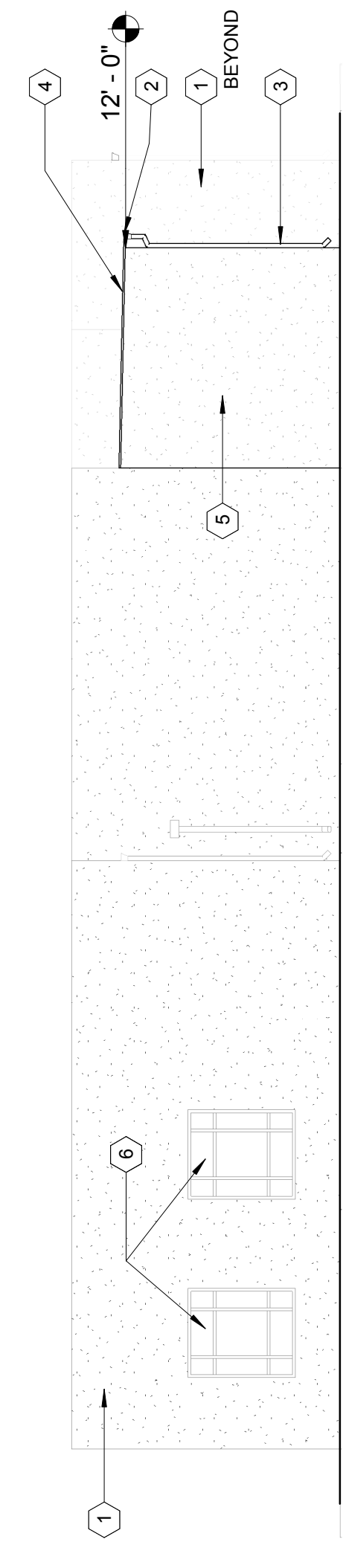
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A1 BUILDING ELEVATION SOUTH
A201 1/8" = 1'-0"



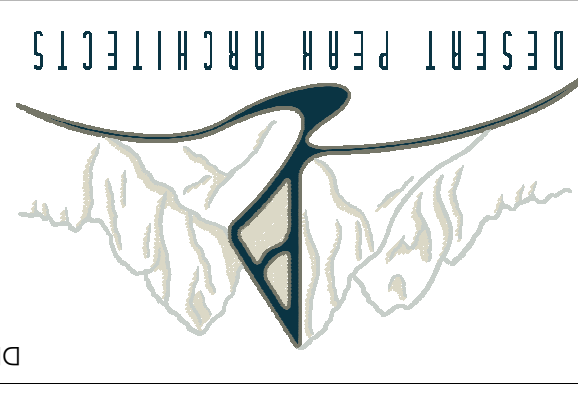
A4 BUILDING ELEVATION WEST
A201 1/8" = 1'-0"

PROJECT
CAFÉ DON FÉLIX
REFRIGERATOR ADDITION
 2290 CALLE DE PARIAN
 MESILLA, NEW MEXICO 88046

PROJECT NO.
 486-01

SHEET TITLE
 EXTERIOR ELEVATIONS

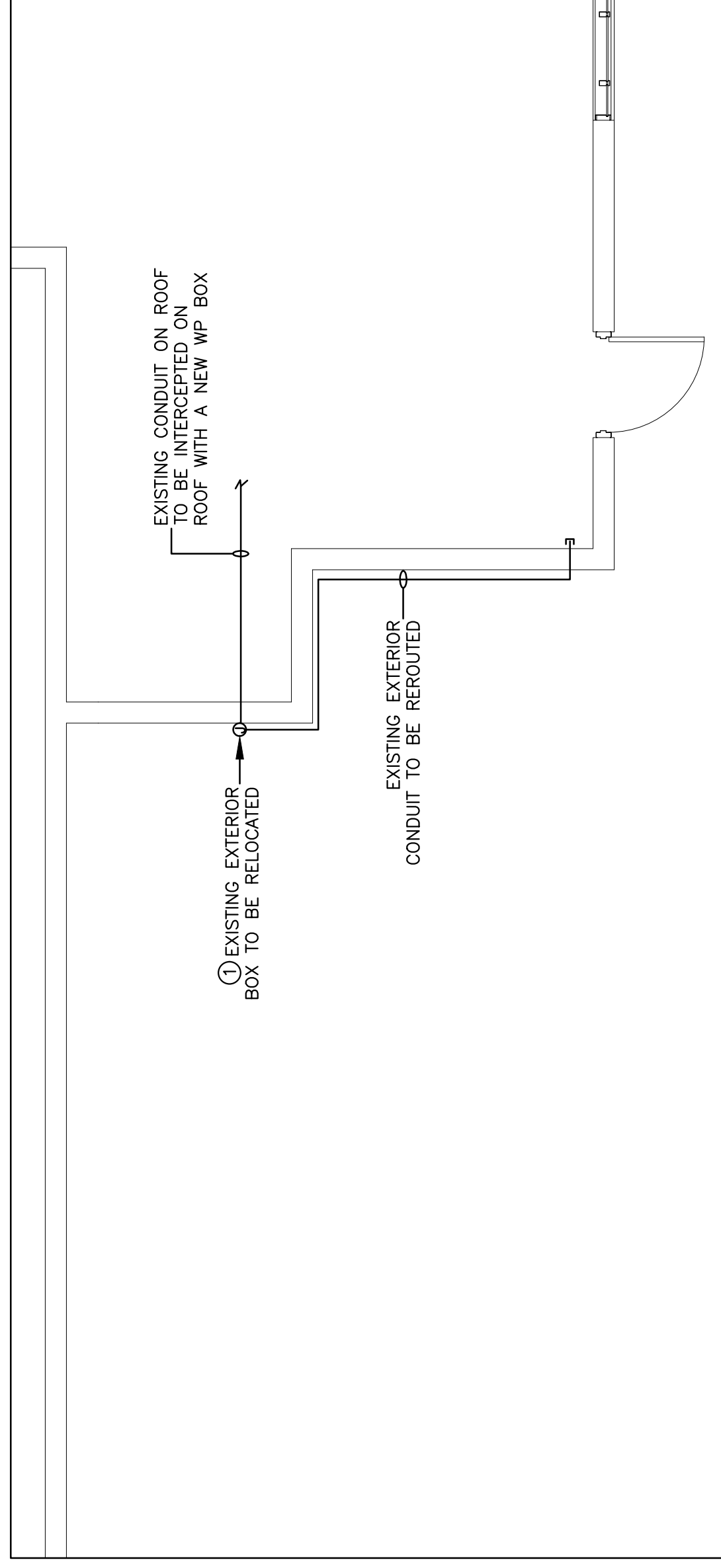
SHEET NO.
A201



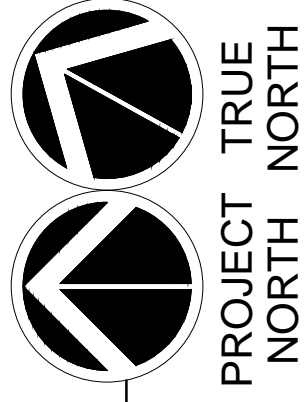
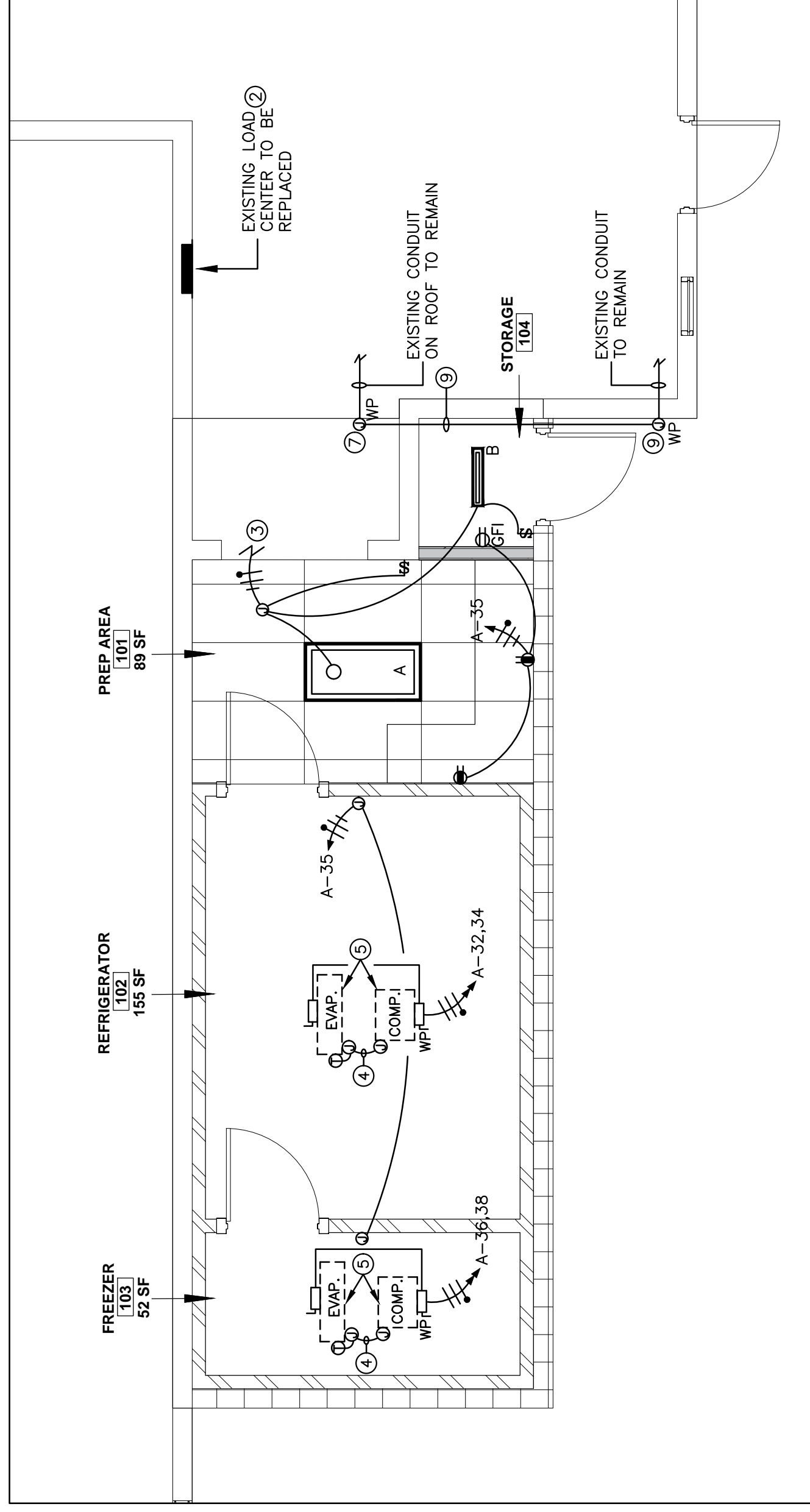
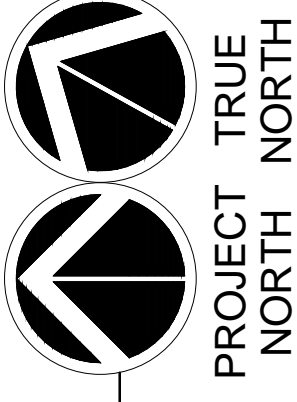
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ISSUE:



1 DEMOLITION PLAN
E101
1/4" = 1'-0"



2 POWER PLAN
E101
1/4" = 1'-0"

| FIXTURE SCHEDULE | | | |
|------------------|----------------------------------|---------------|----------|
| TYPE | DESCRIPTION & MFR. CAT. No. | LAMPS & WATTS | MOUNTING |
| A | COLUMBIA LCAT24-40K-LW-G-R-ESD-U | LED 35W | RECESSED |
| B | COLUMBIA LCL 2' 40K-LW-E-U | LED 15W | SURFACE |

GENERAL NOTES:

- ELECTRICAL INSTALLATION MUST FOLLOW ALL NATIONAL AND LOCAL ELECTRICAL CODES. INSTALLATION MUST CONFORM TO THE LOCAL POWER COMPANY'S SPECIFICATIONS.
- ALL MATERIALS SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL MANUFACTURERS' ASSOCIATION AND SHALL BE LISTED BY THE U.L.
- ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR ALL PERMIT AND INSPECTION FEES REQUIRED BY THE GOVERNING BODIES.
- ELECTRICAL CONTRACTOR MUST COMPLY WITH THE LATEST A.D.A. REQUIREMENTS.
- MINIMUM SIZE CONDUCTORS SHALL BE #12 THW CU. UNLESS NOTED OR SIZED BY CODE.
- ALL WIRING MUST BE IN CONDUIT, INCLUDING ALL L.V. WIRING. THIN WALL CONDUIT (EMT) CAN BE INSTALLED CONCEALED ABOVE CEILING, IN FURRED WALLS, AND WALLS EXCEPT WHERE THOSE WALLS ARE GROUDED SOLID. USE FLEX CONDUIT FOR MOTORS AND LIGHTING.
- USE WATER TIGHT FLEX CONDUIT FOR WATER HEATERS DISPOSALS, EXTERIOR CONNECTIONS, ETC. BOND ACCORDING TO CODE.
- VERIFY LOCATIONS OF ALL ELECTRICAL EQUIPMENT WITH OTHER TRADES TO AVOID CONFLICTS AND INTERFERENCES.
- CONTRACTOR MUST VISIT SITE TO BECOME FAMILIAR WITH EXISTING CONDITIONS BEFORE BIDDING ON THIS PROJECT.
- ELECTRICAL DEVICE INSTALLATION SHALL COMPLY WITH ACCESSIBILITY CODES ADOPTED BY NEW MEXICO.
- FEEDER, BRANCH CIRCUIT DESIGN, AND INSTALLATION SHALL COMPLY WITH THE 2017 NEW MEXICO ELECTRICAL CODE AND NEC 2017.
- ABANDONED POWER WIRING WILL BE REMOVED BACK TO THE SOURCE. THE ACCESSIBLE PORTIONS OF CONDUIT/TUBING AND EQUIPMENT SHALL BE REMOVED. THE ACCESSIBLE PORTIONS OF ABANDONED CABLES (VOICE, DATA, VIDEO, ALARM, ETC.) SHALL BE REMOVED.
- ALL ELECTRICAL EQUIPMENT IN FIRE RATED WALLS MUST BE INSTALLED SO THAT FIRE RATING IS NOT COMPROMISED.
- BRANCH CIRCUIT NUMBERS ARE TO BE WRITTEN WITH BLACK INK MARKERS ON ALL COVERS OF ALL JUNCTION BOXES LOCATED ABOVE CEILING. MARKINGS MUST INDICATE THE PANEL AND CIRCUIT NUMBER OF CIRCUITS IN THAT BOX.

KEYED NOTES:

- EXISTING J-BOX AND CONDUIT TO BE REMOVED FROM EXISTING EXTERIOR WALL. RELOCATE EXISTING J-BOX AND CONDUIT AS SHOWN ON NEW PLAN. CONTRACTOR TO INTERCEPT AND RE-ROUTE CONDUIT ABOVE ON ROOF AND MAINTAIN EXISTING CIRCUIT CONTINUITY. SEE NOTES #7, #8 & #9 FOR MORE REQUIREMENTS.
- APPROXIMATE LOCATION OF EXISTING SEWERS, LOAD CENTER, 240V, 1PH., 3W. TO BE REPLACED. CONTRACTOR TO MAINTAIN EXISTING MAIN FEEDERS AND CONDUITS FOR RECONNECTIONS TO NEW PANELBOARD. CONTRACTOR TO IDENTIFY AND RECONNECT EXISTING BRANCH CIRCUITS TO NEW PANELBOARD 'A'. EXTEND EXISTING CIRCUITS AND CONDUITS AS NECESSARY. NEW CIRCUIT BREAKERS SIZE TO MATCH EXISTING BREAKERS SIZE. CONTRACTOR MUST TRACE ALL EXISTING CIRCUITS AND PROVIDE NEW TYPED PANEL DIRECTORY WITH ALL APPLICABLE INFORMATION. CONTRACTOR TO REMOVE AND MARK ASSOCIATED CIRCUIT BREAKERS AS 'SPARE'. ON NEW PANEL DIRECTORY, SEE PANELBOARD SCHEDULE ON THIS SHEET. CONTRACTOR MUST PATCH AND PAINT EXISTING WALL TO MATCH EXISTING CONDITIONS.
- CONNECT NEW LIGHT FIXTURE TO EXISTING LIGHTING CIRCUIT INSTALLED IN NEXT ROOM. CONTRACTOR TO EXTEND EXISTING CIRCUIT AND CONDUIT AS NECESSARY FOR CONNECTIONS TO NEW LIGHT FIXTURE.
- 5-#12 CU. COND. IN 1/2" CONDUIT FOR CONTROL WIRING BETWEEN COMPRESSOR AND EVAPORATOR UNIT. COORDINATE WITH EQUIPMENT INSTALLER.
- MAKE CONNECTIONS TO SELF-CONTAINED WALK-IN COOLER OR FREEZER CONDENSER. WALK-IN EVAPORATOR IS FED FROM CONDENSER. COORDINATE WITH WALK-IN INSTALLER AND OWNER FOR EXACT LOCATION AND REQUIREMENTS BEFORE DOING ANY WORK.
- MAKE CONNECTIONS TO WALK-IN COOLER AND FREEZER LIGHTS AND DOOR SWITCHES AS NECESSARY.
- INTERCEPT EXISTING CONDUIT ON ROOF WITH A NEW WP J-BOX. MAINTAIN CIRCUIT CONTINUITY.
- NEW 1/2" CONDUIT WITH EXISTING CIRCUIT FROM WP J-BOX ON ROOF TO NEW J-BOX ON WALL.
- INTERCEPT EXISTING CONDUIT ON WALL WITH NEW WP J-BOX. MAINTAIN CIRCUIT CONTINUITY.

ELECTRICAL SYMBOL LEGEND

| SYMBOL | DESCRIPTION |
|--------|--|
| A | 2X4 LED FIXTURE, LETTER DENOTES TYPE. |
| ⓐ | KEYED NOTE SYMBOL-ELECTRICAL |
| —LV— | LOW VOLTAGE WIRING CIRCUIT |
| WP | WEATHERPROOF |
| AFF | ABOVE FINISHED FLOOR |
| \$ | SINGLE POLE WALL SWITCH, 48" TO TOP OF BOX. UNLESS OTHERWISE NOTED. |
| ⓪ | JUNCTION BOX |
| ⓪ | JUNCTION BOX INSTALLED ABOVE THE CEILING WITH FLEXIBLE CONDUIT CONNECTION TO LAY-IN FIXTURES. MAXIMUM 6'-0" LENGTH OF CONDUIT WITH REQUIRED CONDUCTORS ALONG WITH GREEN WIRE GROUND. |
| ⓪ | DUPLEX OUTLET, 18" A.F.F. TO CENTER OF BOX, UNLESS OTHERWISE NOTED |
| ⓪ | GROUND FAULT CIRCUIT INTERRUPTING DUPLEX RECEPTACLE, 18" A.F.F., TO CENTER, UNLESS OTHERWISE NOTED |
| ⓪ | THERMOSTAT |
| ⓪ | NEW PANEL BOARD. SEE PANEL SCHEDULE FOR CHARACTERISTICS. |
| ⓪ | DISCONNECT TO BE NEMA 3R IF INSTALLED OUTDOORS. |
| ⓪ | GROUND FAULT CIRCUIT INTERRUPTING DUPLEX RECEPTACLE MOUNTED AT 44" AFF. TO CENTER, UNLESS OTHERWISE NOTED. |

PANELBOARD SCHEDULE

NEW PANELBOARD "A": 120/240 V, 1 PHASE, 3 WIRE, 125 AMP, M.L.O. RECESSED MOUNTED, COPPER BUS, DOOR-IN-DOOR, 10KAIC

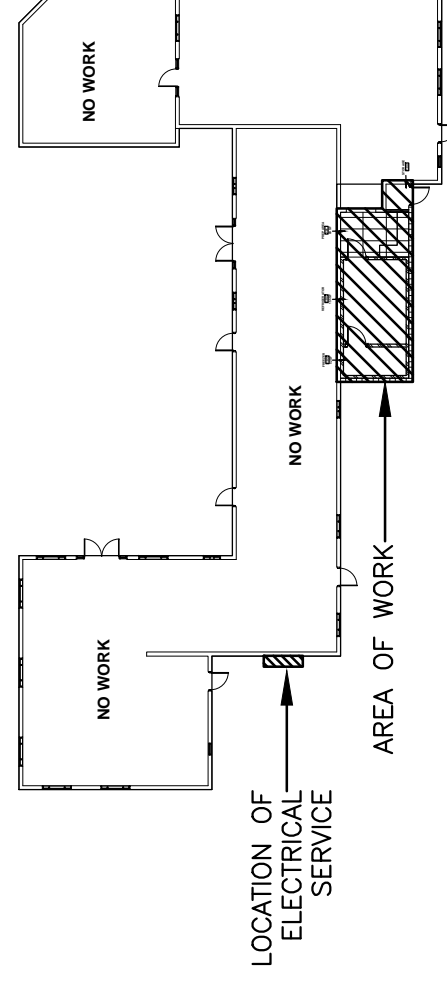
| LOAD SERVED | CKT. NO. | BREAKER TYPE | PHASE | A | C | CT. NO. | LOAD SERVED |
|-----------------|----------|--------------|-------|------|----|--------------------|-------------|
| EXISTING C.B. | (1) 1 | 50 | 2 | 20/1 | 2 | EXISTING C.B. | (1) |
| EXISTING C.B. | (1) 3 | 15 | 2 | 60 | 4 | EXISTING C.B. | (1) |
| EXISTING C.B. | (1) 5 | 15 | 2 | 20 | 2 | EXISTING C.B. | (1) |
| EXISTING C.B. | (1) 7 | 15/1 | 2 | 20 | 2 | EXISTING C.B. | (1) |
| EXISTING C.B. | (1) 9 | 15/1 | 2 | 20/1 | 12 | EXISTING C.B. | (1) |
| EXISTING C.B. | (1) 11 | 15/1 | 2 | 20/1 | 14 | EXISTING C.B. | (1) |
| EXISTING C.B. | (1) 13 | 20/1 | 2 | 20/1 | 16 | EXISTING C.B. | (1) |
| EXISTING C.B. | (1) 15 | 20/1 | 2 | 20/1 | 18 | EXISTING C.B. | (1) |
| EXISTING C.B. | (1) 17 | 20/1 | 2 | 20/1 | 20 | EXISTING C.B. | (1) |
| EXISTING C.B. | (1) 19 | 20/1 | 2 | 20/1 | 22 | EXISTING C.B. | (1) |
| EXISTING C.B. | (1) 21 | 20/1 | 2 | 20/1 | 24 | EXISTING C.B. | (1) |
| EXISTING C.B. | (1) 23 | 20/1 | 2 | 20/1 | 26 | EXISTING C.B. | (1) |
| EXISTING C.B. | (1) 25 | 20/1 | 2 | 20/1 | 28 | EXISTING C.B. | (1) |
| EXISTING C.B. | (1) 27 | 20/1 | 2 | 20/1 | 30 | EXISTING C.B. | (1) |
| EXISTING C.B. | (1) 29 | 20/1 | 2 | 20 | 32 | NEW WALK-IN REF. | (2) |
| EXISTING C.B. | (1) 31 | 20/1 | 2 | 20 | 34 | --- | --- |
| NEW RECEPTACLES | (2) 35 | 20/1 | 2 | 20 | 36 | NEW WALK-IN COOLER | (2) |
| SPACE | 37 | --- | --- | --- | 38 | --- | --- |
| SPACE | 39 | --- | --- | --- | 40 | --- | --- |

- CONTRACTOR TO IDENTIFY AND RECONNECT EXISTING CIRCUITS TO NEW PANELBOARD. EXTEND EXISTING CIRCUITS AND CONDUITS AS NECESSARY. NEW CIRCUIT BREAKERS TO MATCH EXISTING BREAKERS BY SIZE AND POLES. CONTRACTOR MUST PROVIDE NEW TYPED PANEL DIRECTORY WITH ALL CIRCUITS IDENTIFIED. IF CONTRACTOR WISES CIRCUITS THAT ARE NOT BEING IN USE, CONTRACTOR TO REMOVE AND MARK ASSOCIATED CIRCUIT BREAKERS AS 'SPARE' ON NEW PANEL DIRECTORY.
- PROVIDE AND INSTALL NEW CIRCUIT BREAKER IN NEW PANELBOARD FOR POWER TO NEW LOAD. CIRCUIT BREAKER SIZE TO BE AS SHOWN ON PANEL SCHEDULE.

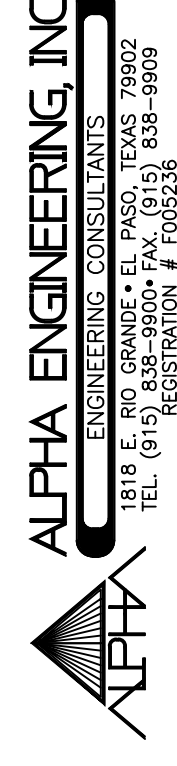
NEW PANELBOARD 'A' LOAD CALCULATIONS

| LOAD (VA) | LOAD (VA) |
|--------------------------|-----------|
| EXISTING LOAD NEC 220.87 | 14,000 |
| EPEC BILLING RECORDS | 3,504 |
| NEW WALK-IN COOLER | 5,680 |
| NEW WALK-IN FREEZER | 21,304 VA |
| TOTAL | |

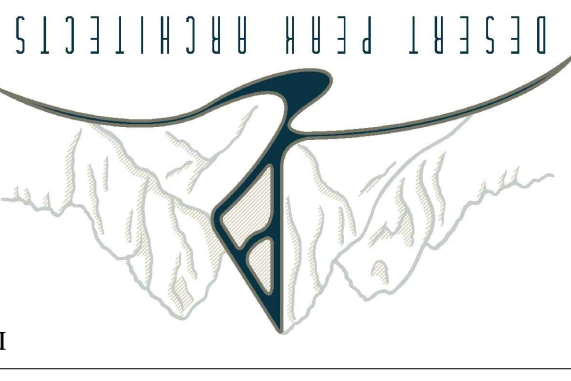
1 = 21,304 VA / (240V) = 89 AMPS
 125A MLO NEMA 1 PANELBOARD 'A' FED FROM EXISTING 100A, 240V, 1PH, 3W.
 RECONNECT EXISTING CONDUIT AND FEED TO NEW PANELBOARD.



KEY PLAN



ELECTRICAL RISER DIAGRAM

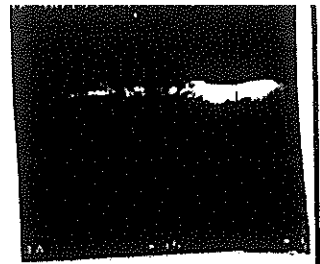


1. "ALERT SHEET?"

YES NO

NEW MEXICO HISTORIC BUILDING INVENTORY
FORM 1: BUILDINGS & STRUCTURES 6-6-79

| | | | | | | | | | | | | | | | | | | | |
|-------------------------------|--|-------|--|---------------|--|-------|--|-------------------|--|-------|--|--------------------------|--|-------|--|-------------------|--|--------|--|
| 2. SURVEY DATE 1/10/80 MRT | | 3. BY | | 4. CHECK DATE | | 5. BY | | 6. COMPUTER DATE | | 7. BY | | 8. FILE DATE | | 9. BY | | 10. REVISION DATE | | 11. BY | |
| 12. COUNTY Dona Ana | | | | 13. FIELD MAP | | | | 14. NUMBER | | | | 15. UTM REFERENCE NUMBER | | | | | | | |
| | | | | | | | | 13 331000 3572000 | | | | ZONE EASTING NORTHING | | | | | | | |



6. SPECIFIC LOCATION
In the SW corner of Calle Principal and Calle del Pasiano.
"Frontier Club"
Pioneer

17. CITY: Mesilla
18. ZIP: 88046
19. LAND GRANT OR RESERVATION: Mesilla Civil Colony

20. I.D. #: 183202120
22. ROLL #: 39
23. NEG #: 35
24. LOCATION OF NEG.

20. LEGAL DESCRIPTION: TOWNSHIP NS RANGE EW SECTION 1/4 1/4 1/4

25. ARCHITECTURAL STYLE: adobe vernacular

26. NUMBER OF STORIES: 1
David + Lydia Taylor
Box 504

27. FOUNDATION MATERIAL(S): Mesilla NM 88046

28. EXTERIOR WALL SURFACE(S): 4-006-137-229-477

29. FENESTRATION (TYPE, DIVISIONS/SURROUNDS/SILLS/ARRANGEMENTS)
white stucco - horiz cement line surrounding east + north sides at eye level.
- boarded up window on north side
- glass block window on east side, concrete lug sill, no surrounds
- small windows (2 on the east, 2 on the north), deeply recessed, slip sills, no surrounds, located ca. 7' above sidewalk.

DOOR/ENTRANCE (TYPE/SURROUNDS) Main entrance is on the shaved NE corner of building. 2 plank wood door with large lite in upper portion.

In the side facing Calle del Pasiano. Two horiz plank doors.
31. ROOF(S) (NUMBER/SHAPE/MATERIAL, DETAILS) Flat. Svelte stepped parapet on east side.

32. CHIMNEY(S) (NUMBER, EXTERIOR-INTERIOR/MATERIALS) none observed

33. EXTERIOR DETAILS Viga ends visible on east side.

34. COMMENTS Although only dating from the 1940's, this building occupies part of the block which ~~has~~ saw much history.

35. ESTIMATED DATE OF CONSTRUCTION: 1947
36. ACTUAL DATE OF CONSTRUCTION:
37. SOURCE OF DATE: Roberto Fretze
38. ARCHITECT/ENGINEER/BUILDER:
39. SOURCE OF INFORMATION:
40. NAME:
41. PRESENT USE: commercial frame shop
42. HISTORIC CONDITION:
 EXCELLENT GOOD FAIR DETERIORATED
44. DEGREE OF REMODELING:
 MINOR MODERATE MAJOR

45. IMMEDIATE SURROUNDINGS: commercial tourism/residential
46. RELATION TO SURROUNDINGS:
 SIMILAR NOT SIMILAR
47. ARCHITECTURAL CONTRIBUTION TO SURROUNDINGS:
 PLUS NEUTRAL MINUS
48. OVERALL SIGNIFICANCE:
 NATIONAL STATE LOCAL NONE
49. ASSOCIATED BUILDINGS? YES NO
50. WHAT TYPE? adjacent building to south.
51. IF INVENTORIED, LIST I.D. #'S:
52. SEE BACK? YES NO

This building was constructed shortly after WWII. The ~~Frontier Club~~ occupied it since its construction until ca. 1965. It was allegedly the hottest place in town. On this spot prior to the war was an old adobe, part of Demetrio Chavez store (check this).

The property is ~~owned~~ taken care of by Rosa Delphin who lives in the building imm. to the west. (belongs to the hospital)

— Former property of Bautista Montoya

Demetrio Chavez - Post office

On the site where the Frontier Club is now S.W. corner Calle Principal, Calle de Toran - Angel Rucero interview with Mary Taylor - 1950±

News - Louis H. Baldy and Demetrio Chavez have formed a mercantile firm under the name of Baldy & Chavez
La Playa - Mesilla Independent, Pg 6 - Aug. 11, 1877

- 119 The Leonart-Maurin store was built in 1863 of burnt brick from a local kiln. This structure was to have a second story as evidenced by blocked up, partially completed windows above the canal level. Only about three feet of this story was completed when the project was halted. Maurin was murdered in his residence at the rear of the store in 1866. A few years later another Frenchman, Pedro Duhalde, who was a saloon keeper and merchant in Mesilla, was murdered here also. The building has since been used as a saloon, residence, town hall, and is currently housing two gift shops. The building faces the plaza and is adjacent to the Reynolds/Griggs Store to the north. The high parapet has a brick coping. The windows are fixed wood frame and have brick segmental arches. All doors and windows are protected with iron grill work. (S)
- 120 This structure was constructed shortly after World War II and was the Frontier Club Bar until the mid 1960's when it was converted into a gift shop. The building occupied the spot where part of the Demetrio Chavez store and post office was during the latter half of the 19th century. It is stuccoed adobe with a flat roof, has a parapet, chamfered corner at the main entrance, small wood frame and glass block windows and is adjacent to the building to the south. (N)
- 121 This was once part of the Demetrio Chavez store, post office and residence during the latter half of the 19th century. The portion of the building fronting Calle Principal is now being used as a gift shop. Behind this gift shop is the residence of Rosa Delphin and her three huge Saint Bernards. Some of the walls in this building probably date from the 1850's. (S)
- 122 Originally the property of Cristobal Ascarate, this site was used as the corral area for the overland livestock and wagons in the 1850's. It then became the Thomas J. Bull Store in 1874 which supplied soldiers, miners and settlers with just about anything they needed. In 1909, the present building replaced the Bull Store. This structure was built by John Bombach for his brother Otto and used as a general store. It is a tall adobe building with unplastered walls and faceted stone pilasters against the facade. The building then housed the Wells Fargo Museum in the 1950's until it burned at which time the roof collapsed and many of the museum pieces were destroyed. It is now vacant. A tall adobe barn is adjacent to this building at the rear. (S)
- 123 This is a stuccoed adobe house with metal casement windows, and an asphalt shingled hip roof. It follows a square plan. est. 1935. (N)

TOWN OF MESILLA
 PERMISSION TO CONDUCT WORK
 OR

OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT

OFFICIAL USE ONLY:

Case # 060942

Fee \$ 22.50

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 060942 ZONE: HC CODE: ADU APPLICATION DATE: 7/30/19

Name of Applicant/Owner: Felix Armijo Applicant's Telephone Number: 575-640-6713

Applicant's/Owner's Mailing Address: 2004 W. Union City: LC State: NM Zip Code: 88005

Applicant's/Owner's E-mail Address: veflowers@AOL.com

Contractor's Name & Address (If none, indicate Self): Same as above

Contractor's Telephone Number: _____ Contractor's Tax ID Number: _____ Contractor's License Number: _____

Address of Proposed Work: 2290 Calle de Perian Suite Dth

Description of Proposed Work: Approx 11-28 ft Shed

Estimated Cost: \$ 1,500

Signature of Applicant: *[Handwritten Signature]*

Date: July 16-2019

Signature of property owner if applicant is not the property owner: _____

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and BOT before issuance of a building permit. Recorded proof of ownership with legal description of property (deed or current tax bill) along with verification of legally subdivided status of the property are required. Plan sheets are to be no larger than 11 x 17 inches.

FOR OFFICIAL USE ONLY

PZHAC Administrative Approval Approved Date: _____ Disapproved Date: _____
 BOT Approved Date: _____ Disapproved Date: _____
 Disapproved Date: _____ Approved with Conditions
 Approved with conditions

FIRE INSPECTION/APPROVAL REQUIRED: ___ YES NO ___ SEE CONDITIONS

CID PERMIT/INSPECTION REQUIRED: YES ___ NO ___ SEE CONDITIONS

CONDITIONS: PZHAC REVIEW + BOT FINAL APPROVAL REQ'D
CID PERMIT REQ'D
TL

PERMISSION ISSUED/DENIED BY: _____ ISSUE DATE: _____

- This Application will include the following, if checked:
1. ___ Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was legally subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
 2. ___ Site Plan with dimensions and details.
 3. ___ Proof of legal access to the property.
 4. ___ Drainage plan.
 5. ___ Architectural style and color scheme -- diagrams or elevations (Historical and commercial zones only).
 6. ___ Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
 7. ___ Other information as necessary or required by the City Code or Community Development:

PZHAC MEETING

MINUTES

JULY 15, 2019

(PART OF CONSENT AGENDA)



Town of Mesilla, New Mexico

PZHAC REGULAR MEETING MINUTES JULY 15, 2019

THE PLANNING, ZONING AND HISTORICAL APPROPRIATENESS COMMISSION (PZHAC) WILL HOLD ITS REGULARLY SCHEDULED MEETING MONDAY, JULY 15, 2019 AT 6:00 P.M. IN THE BOARD ROOM OF THE MESILLA TOWN HALL, 2231 AVENIDA DE MESILLA.

I. PLEDGE OF ALLEGIANCE

II. ROLL CALL AND DETERMINATION OF A QUORUM

All Commissioners were present. There was a quorum.

III. CHANGES/APPROVAL OF THE AGENDA

There were no changes to the Agenda. A motion to approve the Agenda was made by Commissioner Houston, seconded by Commissioner Nevarez, and approved by a vote of 3 - 0.

IV. *ACCEPTANCE OF THE CONSENT AGENDA

Note: Items on the agenda indicated by an asterisk () are on the consent agenda and will be voted on with one motion unless a Commissioner requests that a specific item be removed for discussion.*

There were no changes to the Consent Agenda. A motion to approve the Agenda was made by Commissioner Houston, seconded by Commissioner Nevarez, and approved by a vote of 3 - 0.

A. *PZHAC MINUTES – PZHAC Work Sessions and Regular Meetings of June 17 and July 1, 2019

Approved as part of the Consent Agenda

B. *ADMINISTRATIVE APPROVAL

Zoning Permits

1. **Case 060931** – 2225 Calle de Colon, submitted by Rosalia Martinez; a request for a zoning permit to reroof a dwelling at this address. Zoned: Historical Residential (HR)

Approved as part of the Consent Agenda

V. PZHAC NEW BUSINESS:

A. PUBLIC INPUT ON CASES

None

B. DECISIONS:

Cases:

1. **Case 060932** – 2225 Calle de Colon, submitted by Rosalia Martinez; a request for a zoning permit to update windows and repaint a dwelling at this address. Zoned: Historical Residential (HR)
Staff provided a brief review of this request. The PZHAC determined that there were no issues with the proposed request. A motion was made by Commissioner Nevarez to approve the request, seconded by Commissioner Houston, and approved by a vote of 3 - 0.
2. **Case 060933** – 2004 West Union, submitted by Felix Armijo; a request for a zoning permit to allow the reroof of a large porch around the front and east side of a dwelling at this address. Zoned: Rural Farm (RF)
Staff provided a brief review of this request. The PZHAC determined that there were no issues with the proposed request. A motion was made by Commissioner Nevarez to approve the request, seconded by Commissioner Houston, and approved by a vote of 3 - 0.

VI. PUBLIC COMMENTS - *None*

VII. PZHAC/STAFF COMMENTS - *None*

VIII. ADJOURNMENT - *The meeting was adjourned at 6:10 pm.*

PZHAC NEW BUSINESS

AUGUST 5, 2019

ADMINISTRATIVE APPROVALS

(PART OF CONSENT AGENDA)

**ADMINISTRATIVE APPROVAL
BUILDING PERMIT REQUEST CASE 060934
[PZHAC CONSENT AGENDA – 8/5/2019]**

Item:

Case 060934 – 2635 Calle de Parian, submitted by William McIlvaine; a request for a zoning permit to allow four exterior doors to be painted to match other exterior doors on the dwelling at this address. Zoned: Historical Residential (HR)

Description of Work Done:

The applicant intends to paint four exterior doors on the dwelling to match the color of the dwelling and the other exterior doors on the dwelling. Two of the doors are currently unfinished, and two of the doors had been painted but are weathered and peeling. The repairs will not change the appearance or style of the structure.

Consistency with the Code:

Since this is a repair that will not affect or change the appearance of the structure, according to the applicant; and since the work will not consist of any additions or changes to heated/cooled areas of the structure, the permit may be approved administratively. [(15.15.030(B) - Application for building permit, Administrative Approval). Administrative Approval Permit – “Applications that are minor repairs or maintenance and do not alter or create additions to structures (buildings), walls or any other permanent fixtures on site may be approved administratively by staff.... Once all required information is provided, the community development staff may approve and issue the permit.”]

**PHOTO OF DWELLING FROM CALLE DE PARIAN SHOWING PAINTED DOOR (CIRCLED)
AND ONE OF THE DOORS TO BE PAINTED (RIGHT)**



**TOWN OF MESILLA
ZONING APPROVAL**
PERMISSION TO CONDUCT WORK
OR

OFFICIAL USE ONLY:

Case # 060934

Fee \$ 0.00

OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 060934 ZONE: HR CODE: MI APPLICATION DATE: 7/15/19

WILLIAM & STEPHAN McILVAINE 310 990 9896
Name of Applicant/Owner Applicant's Telephone Number

2 PO BOX 360 MESILLA NM 88046
Applicant's/Owner's Mailing Address City State Zip Code

WB McILVAINE @ MAC.COM
Applicant's/Owner's E-mail Address

SELF
Contractor's Name & Address (If none, indicate Self)

Contractor's Telephone Number Contractor's Tax ID Number Contractor's License Number

Address of Proposed Work: 2655 CALLE DE PARIAN

Description of Proposed Work: PAINT EXTERIOR DOORS, SOUTH EAST FACING
COLOR - DUNN EDWARDS (SEE ATTACHED)
DEW 341 "SWISS COFFEE"

\$ 50.00 W. McIlvaine 12 JULY 2019
Estimated Cost Signature of Applicant Date

Signature of property owner if applicant is not the property owner: _____

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and BOT before issuance of a building permit. Recorded proof of ownership with legal description of property (deed or current tax bill) along with verification of legally subdivided status of the property are required. Plan sheets are to be no larger than 11 x 17 inches.

FOR OFFICIAL USE ONLY

PZHAC Administrative Approval BOT Approved Date: _____
 Approved Date: _____ Disapproved Date: _____
 Disapproved Date: _____ Approved with Conditions
 Approved with conditions

FIRE INSPECTION/APPROVAL REQUIRED: ___ YES NO ___ SEE CONDITIONS

CID PERMIT/INSPECTION REQUIRED: ___ YES NO ___ SEE CONDITIONS

CONDITIONS: _____

PERMISSION ISSUED DENIED BY: L. Shone ISSUE DATE: 7/15/19

This Application will include the following, if checked:

1. ___ Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was legally subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
2. ___ Site Plan with dimensions and details.
3. ___ Proof of legal access to the property.
4. ___ Drainage plan.
5. ___ Architectural style and color scheme – diagrams or elevations (Historical and commercial zones only).
6. ___ Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
7. ___ Other information as necessary or required by the City Code or Community Development:

**ADMINISTRATIVE APPROVAL
BUILDING PERMIT REQUEST CASE 060935
[PZHAC CONSENT AGENDA – 8/5/2019]**

Item:

Case 060935 – 2220 Calle de Parian, submitted by Sun Vista Construction for Teresa Sanchez; a request for a zoning permit to repair a sidewalk in front of a dwelling at this address. Zoned: Historical Residential (HR)

Description of Work Done:

The applicant intends to repair part of the sidewalk in front of this dwelling along Calle de Parian. The purpose of the repair is to ensure that the sidewalk will match up evenly with the repaving of Calle de Parian being done by the Town. The repairs are to the sidewalk only and will not change the appearance or style of the structure.

Consistency with the Code:

Since this is a repair that will not affect or change the appearance of the structure, according to the applicant; and since the work will not consist of any additions or changes to heated/cooled areas of the structure, the permit may be approved administratively. [(15.15.030(B) - Application for building permit, Administrative Approval). **Administrative Approval Permit – “Applications that are minor repairs or maintenance and do not alter or create additions to structures (buildings), walls or any other permanent fixtures on site may be approved administratively by staff.... Once all required information is provided, the community development staff may approve and issue the permit.”]**

PHOTO OF DWELLING AND SIDEWALK FROM CALLE DE PARIAN



Doña Ana County, NM

General Reference Maps

2014 Aerial | Addresses | County Address Points

Select Search Type: Account Number ▾ Enter

Maps

Legend

Map Themes

Parcels

UDC Zoning

Roads and Transportation

NM House Districts

NM Senate Districts

County Commission Districts

City Council Districts

Median Household Income

General Land Ownership

Account Number: [R0400299](#)

Parcel Number: 4006137219509

Owner: SANCHEZ ERIC L

Mail Address: PO BOX 32

Subdivision:

Property Address: 2231 CALLE DE

PARIAN

Acres: 0



**TOWN OF MESILLA
ZONING APPROVAL**
PERMISSION TO CONDUCT WORK
OR
OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT

OFFICIAL USE ONLY:

Case # 060935

Fee \$ 0.00

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 060935 ZONE: HR CODE: M1 APPLICATION DATE: 6/22/19

Name of Applicant/Owner: SANCHEZ Applicant's Telephone Number: 575 650-7963

Applicant's/Owner's Mailing Address: P.O. Box 32 City: MESILLA State: NM Zip Code: 88046

Applicant's/Owner's E-mail Address: _____

Contractor's Name & Address (If none, indicate Self): SUNWEST CONCRETE INC

Contractor's Telephone Number: 575 650-7963 Contractor's Tax ID Number: _____ Contractor's License Number: 60731

Address of Proposed Work: 2220 CAÑE DE PANZAN

Description of Proposed Work: REPAIR PART OF SIDEWALK

Estimated Cost: \$ 250.00 Signature of Applicant: [Signature] Date: 6/22/19

Signature of property owner if applicant is not the property owner: _____

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and BOT before issuance of a building permit. Recorded proof of ownership with legal description of property (deed or current tax bill) along with verification of legally subdivided status of the property are required. **Plan sheets are to be no larger than 11 x 17 inches.**

FOR OFFICIAL USE ONLY

PZHAC Administrative Approval Approved Date: _____ Disapproved Date: _____
 Approved with conditions

BOT Approved Date: _____ Disapproved Date: _____
 Approved with Conditions

FIRE INSPECTION/APPROVAL REQUIRED: ___ YES NO ___ SEE CONDITIONS

CID PERMIT/INSPECTION REQUIRED: ___ YES NO ___ SEE CONDITIONS

CONDITIONS: NO CHANGES TO STRUCTURES

PERMISSION ISSUED/DENIED BY: [Signature] ISSUE DATE: 6/22/19

- This Application will include the following, if checked:
1. ___ Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was legally subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
 2. ___ Site Plan with dimensions and details.
 3. ___ Proof of legal access to the property.
 4. ___ Drainage plan.
 5. ___ Architectural style and color scheme – diagrams or elevations (Historical and commercial zones only).
 6. ___ Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
 7. ___ Other information as necessary or required by the City Code or Community Development:

**ADMINISTRATIVE APPROVAL
BUILDING PERMIT REQUEST CASE 060937
[PZHAC CONSENT AGENDA – 8/5/2019]**

Item:

Case 060937 – 298 Capri Road, submitted by Wiley Thompson; a request for a zoning permit to reroof a dwelling at this address. Zoned: Single Family Residential (R-1)

Description of Work Done:

The applicant intends to replace the roof covering on a dwelling at this address in order to repair storm damage to the roof. The replacement roof will be the same as the original and there will be no changes to the structure. The repairs will be on a pitch roof. There will be no change to the appearance or style of the structure. The applicant has been informed that a permit from CID will be needed.

Consistency with the Code:

Since this is a repair that will not affect or change the appearance of the structure, according to the applicant; and since the work will not consist of any additions or changes to heated/cooled areas of the structure, the permit may be approved administratively. [(15.15.030(B) - Application for building permit, Administrative Approval). Administrative Approval Permit – “Applications that are minor repairs or maintenance and do not alter or create additions to structures (buildings), walls or any other permanent fixtures on site may be approved administratively by staff.... Once all required information is provided, the community development staff may approve and issue the permit.”]

PHOTO OF PROPERTY FROM CAPRI ROAD



Doña Ana County, NM

General Reference Maps

2014 Aerial | Addresses | County Address Points

Select Search Type: Account Number ▾ Enter

Maps

Legend

Map Themes

Parcels

UDC Zoning

Roads and Transportation

NM House Districts

NM Senate Districts

County Commission Districts

City Council Districts

Median Household Income

General Land Ownership

Account Number: [R0400828](#)
Parcel Number: 4007137287385
Owner: THOMPSON WILEY E TRUSTEE WILEY E THOMPSON LIVING TRUST
Mail Address: 298 CAPRI RD
Subdivision: BASON MANOR 807
Property Address: 298 CAPRI RD
Acres: 0



**TOWN OF MESILLA
ZONING APPROVAL**
PERMISSION TO CONDUCT WORK
OR
OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT

OFFICIAL USE ONLY:

Case # 060935

Fee \$ 0.00

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 060935 ZONE: HR CODE: M1 APPLICATION DATE: 6/22/19

Name of Applicant/Owner SANCHEZ Applicant's Telephone Number 575 650-7963

Applicant's/Owner's Mailing Address P.O. Box 32 City MESILLA State NM Zip Code 88046

Applicant's/Owner's E-mail Address _____

Contractor's Name & Address (If none, indicate Self) SUNWEST CONCRETE INC

Contractor's Telephone Number 575 650-7963 Contractor's Tax ID Number _____ Contractor's License Number 60731

Address of Proposed Work: 2220 CAÑE DE PANZAN

Description of Proposed Work: REPAIR PART OF SIDEWALK

Estimated Cost \$ 250.00 Signature of Applicant [Signature] Date 6/22/19

Signature of property owner if applicant is not the property owner: _____

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and BOT before issuance of a building permit. Recorded proof of ownership with legal description of property (deed or current tax bill) along with verification of legally subdivided status of the property are required. **Plan sheets are to be no larger than 11 x 17 inches.**

FOR OFFICIAL USE ONLY

PZHAC Administrative Approval BOT Approved Date: _____
 Approved Date: _____ Disapproved Date: _____
 Disapproved Date: _____ Approved with Conditions
 Approved with conditions

FIRE INSPECTION/APPROVAL REQUIRED: ___ YES NO ___ SEE CONDITIONS

CID PERMIT/INSPECTION REQUIRED: ___ YES NO ___ SEE CONDITIONS

CONDITIONS: NO CHANGES TO STRUCTURES

PERMISSION ISSUED/DENIED BY: [Signature] ISSUE DATE: 6/22/19

- This Application will include the following, if checked:
1. ___ Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was **legally** subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
 2. ___ Site Plan with dimensions and details.
 3. ___ Proof of legal access to the property.
 4. ___ Drainage plan.
 5. ___ Architectural style and color scheme – diagrams or elevations (Historical and commercial zones only).
 6. ___ Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
 7. ___ Other information as necessary or required by the City Code or Community Development:

**ADMINISTRATIVE APPROVAL
BUILDING PERMIT REQUEST CASE 060939
[PZHAC CONSENT AGENDA – 8/5/2019]**

Item:

Case 060939 - 2218 Calle del Oeste, submitted by Organ Mountain Solar and Electric for Hilary McDaniel; a request for a zoning permit to allow the installation of photovoltaic panels on a dwelling at this address. Zoned: Historic Residential (HR)

Description of Work Done:

The applicant will install a photo-voltaic system on the roof of a dwelling at this address. The applicant has been informed that a permit and required inspections will have to be obtained through CID. Similar installations have been allowed in this area. Due to the fact that the subject installation will only have four panels on a fairly flat roof, the proposed system will not cause any negative visual impacts to the surrounding properties.

Consistency with the Code:

Since this is a job that will not affect or change the appearance of the structure, according to the applicant; and since the work will not consist of any additions or changes to heated/cooled areas of the structure, the permit may be approved administratively. [(15.15.030(B) - **Application for building permit, Administrative Approval**). **Administrative Approval Permit – “Applications that are minor repairs or maintenance and do not alter or create additions to structures (buildings), walls or any other permanent fixtures on site may be approved administratively by staff.... Once all required information is provided, the community development staff may approve and issue the permit.”**]

PHOTO OF PROPERTY FROM THE CALLE DEL OESTE



TOWN OF MESILLA
 PERMISSION TO CONDUCT WORK
 OR
 OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT

OFFICIAL USE ONLY:

Case # 060937

Fee \$ 21.00

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 060937 ZONE: UR CODE: M1 APPLICATION DATE: 7/23/19

McDaniel, Hilary (317) 374-1787
 Name of Applicant/Owner Applicant's Telephone Number
 PO Box 112 Mesilla NM 88046-0112
 Applicant's/Owner's Mailing Address City State Zip Code
 hilaryleigh@juno.com

Applicant's/Owner's E-mail Address
 Organ Mountain Solar & Electric

Contractor's Name & Address (If none, indicate Self)
 (575) 288-1792 82-4764366 394801
 Contractor's Telephone Number Contractor's Tax ID Number Contractor's License Number

Address of Proposed Work: 2218 Calle Del Oeste, Mesilla NM 88046

Description of Proposed Work: This is a ballasted residential roof top solar installation.

\$ 6,935 6/30/19
 Estimated Cost Signature of Applicant Date

Signature of property owner if applicant is not the property owner: _____

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and BOT before issuance of a building permit. Recorded proof of ownership with legal description of property (deed or current tax bill) along with verification of legally subdivided status of the property are required. **Plan sheets are to be no larger than 11 x 17 inches.**

FOR OFFICIAL USE ONLY

PZHAC Administrative Approval BOT Approved Date: _____
 Approved Date: _____ Disapproved Date: _____
 Disapproved Date: _____ Approved with Conditions
 Approved with conditions

FIRE INSPECTION/APPROVAL REQUIRED: ___ YES NO ___ SEE CONDITIONS

CID PERMIT/INSPECTION REQUIRED: YES ___ NO ___ SEE CONDITIONS

CONDITIONS: ONLY NO CHANGES TO APPEARANCE OF DWELLING
CID PERMIT REQ'D
TL

PERMISSION ISSUED/DENIED BY: [Signature] ISSUE DATE: 7/23/19

- This Application will include the following, if checked:
1. ___ Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was legally subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
 2. ___ Site Plan with dimensions and details.
 3. ___ Proof of legal access to the property.
 4. ___ Drainage plan.
 5. ___ Architectural style and color scheme – diagrams or elevations (Historical and commercial zones only).
 6. ___ Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
 7. ___ Other information as necessary or required by the City Code or Community Development:

**ADMINISTRATIVE APPROVAL
BUILDING PERMIT REQUEST CASE 060941
[PZHAC CONSENT AGENDA – 8/5/2019]**

Item:

Case 060941 – 2122 Calle de Los Huertos, submitted by Michael Radtke; a request for a zoning permit to reroof a dwelling at this address. Zoned: Historical Residential (HR)

Description of Work Done:

The applicant intends to replace the roof covering on a dwelling at this address in order to repair storm damage to the roof. The replacement roof will be the same color as the original and there will be no changes to the structure. Part of the repairs will be on a flat roof and part will be on a pitched roof. There will be no change to the appearance or style of the structure. The applicant has been informed that a permit from CID will be needed.

Consistency with the Code:

Since this is a repair that will not affect or change the appearance of the structure, according to the applicant; and since the work will not consist of any additions or changes to heated/cooled areas of the structure, the permit may be approved administratively. [(15.15.030(B) - Application for building permit, Administrative Approval). Administrative Approval Permit – “Applications that are minor repairs or maintenance and do not alter or create additions to structures (buildings), walls or any other permanent fixtures on site may be approved administratively by staff.... Once all required information is provided, the community development staff may approve and issue the permit.”]

PHOTO OF PROPERTY FROM CALLE DE LOS HUERTOS



Doña Ana County, NM

General Reference Maps

2014 Aerial | Addresses | County Address Points

Select Search Type: Account Number ▾ Enter

Maps

Legend

Map Themes

Parcels

UDC Zoning

Roads and Transportation

NM House Districts

NM Senate Districts

County Commission Districts

City Council Districts

Median Household Income

General Land Ownership

Account Number: [R0400172](#)

Parcel Number: 4006137028464

Owner: RADTKE MICHAEL

Mail Address: PO BOX 1041

Subdivision:

Property Address: 2122 CALLE DE LOS HUERTOS

Acres: 0



**TOWN OF MESILLA
ZONING APPROVAL**
PERMISSION TO CONDUCT WORK
OR
OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT

OFFICIAL USE ONLY:

Case # 060941

Fee \$ 18.00

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 060941 ZONE: HR CODE: RR APPLICATION DATE: 7/23/19

Michael Radtke Name of Applicant/Owner 575-312-2304 Applicant's Telephone Number

P.O. Box 1041 Applicant's/Owner's Mailing Address Mesilla City NM State 88046 Zip Code

Radtke.com@gmail.com Applicant's/Owner's E-mail Address

Michael Radtke - Indicate self Contractor's Name & Address (If none, indicate Self)

Contractor's Telephone Number _____ Contractor's Tax ID Number _____ Contractor's License Number _____

Address of Proposed Work: 2122 Calle de las Huertas

Description of Proposed Work: Home owner completing proposed work: Re-shingling of pitched roof. No modifications to roof or property.

\$ 4,200.00 Estimated Cost Michael Radtke Signature of Applicant 07/23/19 Date

Signature of property owner if applicant is not the property owner: _____

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and BOT before issuance of a building permit. Recorded proof of ownership with legal description of property (deed or current tax bill) along with verification of legally subdivided status of the property are required. **Plan sheets are to be no larger than 11 x 17 inches.**

FOR OFFICIAL USE ONLY

PZHAC Administrative Approval **BOT** Approved Date: _____
 Approved Date: _____ Disapproved Date: _____
 Disapproved Date: _____ Approved with Conditions
 Approved with conditions

FIRE INSPECTION/APPROVAL REQUIRED: ___ YES NO ___ SEE CONDITIONS

CID PERMIT/INSPECTION REQUIRED: YES ___ NO ___ SEE CONDITIONS

CONDITIONS: NO CHANGES TO APPEARANCE OR STYLE OF STRUCTURE
CID PERMIT REQUIRED
11

PERMISSION **ISSUED**/DENIED BY: Z. Chan ISSUE DATE: 7/23/19

- This Application will include the following, if checked:
1. ___ Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was **legally** subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
 2. ___ Site Plan with dimensions and details.
 3. ___ Proof of legal access to the property.
 4. ___ Drainage plan.
 5. ___ Architectural style and color scheme – diagrams or elevations (Historical and commercial zones only).
 6. ___ Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
 7. ___ Other information as necessary or required by the City Code or Community Development:

PZHAC NEW BUSINESS

AUGUST 5, 2019

PUBLIC HEARING

ZONE CHANGES

ZONE CHANGE REQUEST Z19-002
[PZHAC PUBLIC HEARING AND REVIEW]
STAFF ANALYSIS
(PRESENTED TO PZHAC 8/5/19)

Item:

Z19-002 – 1985 Calle de Colon, submitted by Sylvia J. and David B. Fierro; an application for a zone change from Historical Residential (HR) to Historical Commercial (HC) for a residential parcel located adjacent to the west side of Palacio's Bar.

Description of Request:

The property in question is located immediately adjacent to and behind Palacio's Bar on Avenida de Mesilla. The property consists of a 7749 square foot (0.18 acre) parcel containing a 1378 square foot dwelling (see attached map). The bar is also zoned Historic Residential (HR) and has existed here continuously since 1936. The bar is currently considered legal non-conforming but should be zoned Historic Commercial (HC). (The owner of the bar, Velia Chavez, has been contacted about completing a zone change and was originally scheduled to be heard at this meeting, but has not completed the application process in time for this meeting.)

The applicants are seeking this zone change because the close proximity of the dwelling to the bar has made it almost impossible to rent the dwelling as a residence. The problem is that the noise, traffic, pedestrian and parking issues created by the bar at all hours on weekends has created a situation that is not conducive to normal full-time residential living on the property. The applicants believe that a commercial use such as an office that is generally closed during the bar's normal hours of operation (weekends and weekdays after 5:00 pm) would a more compatible use of the property. The office operation could also share the bar's parking facilities since their hours of operation are different, limiting the impacts of the office on the residential character of the neighborhood to the west.

The property would also tend to act as a buffer between the bar and residential properties on the west side of Calle de San Albino. The concept of being a buffer to an intrusive commercial use on Avenida de Mesilla would be a benefit that tends to fit in with the stated goal of the Comprehensive Plan by allowing commercial growth along Avenida de Mesilla while protecting residential development west of Avenida de Mesilla from the impacts of such commercial growth. (For this reason, and the fact that the property is adjacent to and immediately affected by commercial zoning or permitted commercial uses, the requested zone change does not appear to constitute spot zoning.)

Additional reasons for the zone change request are included in the applicants' application. Some of these reasons include, but are not limited to the following:

- A. "...the property is located close to Avenida de Mesilla which is predominantly populated with Commercial Properties."
- B. "Few changes would be required as there is sufficient parking available for commercial activity."
- C. "The change would not increase or change the traffic pattern for the property."
- D. "The proximity (of the dwelling) to the bar would not be a significant issue if the zone change is approved."
- E. Queries about the potential renting of the property are from "office type" of businesses. Being close to a bar is not an issue to the potential commercial renters."
- F. "...the financial impact of keeping the property vacant will be alleviated."

Consistency with the Code:

The PZHAC will need to determine that the proposed zone change will be compatible with the Mesilla Comprehensive Plan, and will not constitute "spot zoning". The PZHAC will also need to determine that the requested zone change will not have a detrimental effect on the surrounding properties and the Town.

The PZHAC will need to make the following Findings for approval:

- The PZHAC has jurisdiction to review this request.
- The zoning code allows this type of zone change request.
- The application meets the requirements of the Code for a zone change.
- The requested zone change would not be out of character with the Comprehensive Plan, nor will it constitute “spot zoning”.
- The proposed zoning, as requested, or amended with conditions; will be beneficial to the Town.
- The proposed zone change meets all other applicable Code requirements.

PZHAC OPTIONS:

Recommend approval to the BOT of application.

Recommend approval to the BOT of application with conditions.

Reject the application.

PZHAC ACTION:

Doña Ana County, NM

General Reference Maps

2014 Aerial | Addresses | County Address Points

Select Search

Maps | Legend

Map Themes

| |
|-----------------------------|
| Parcels |
| UDC Zoning |
| Roads and Transportation |
| NM House Districts |
| NM Senate Districts |
| County Commission Districts |
| City Council Districts |
| Median Household Income |
| General Land Ownership |

Account Number: [R0400386](#)
Parcel Number: 4006137305491
Owner: FIERRO SYLVIA J
Mail Address: P.O. BOX 1725
Subdivision:
Property Address: 1985 DALLE DE COLON
Acres: 0



**PHOTOS OF THE PROPERTY FROM AVENIDA DE MESILLA
SHOWING PROXIMITY TO BAR**



PHOTO FROM CALLE DE SAN ALBINO



PHOTO FROM CALLE DE COLON





Town of Mesilla, New Mexico

The Town of Mesilla Planning, Zoning and Historical Appropriateness Commission (PZHAC) will be holding a Public Hearing on:

Monday, August 5, 2019 at 6:00 PM

at: Town of Mesilla
2231 Avenida de Mesilla
Mesilla, NM 88046

to obtain input on the following zone change requests:

1. **Z19-002** – 1985 Calle de Colon, submitted by Sylvia J. and David B. Fierro; an application for a zone change from Historical Residential (HR) to Historical Commercial (HC) for a 7749 square foot residential parcel located adjacent to the west side of Palacio's Bar.
2. **Z19-003** – 2600 Avenida de Mesilla, submitted by Velia Chavez; an application for a zone change from Historical Residential (HR) to Historical Commercial (HC) for a 1552 square foot parcel that contains Palacio's Bar.

Anyone who is concerned with this matter may address the PZHAC at the Public Hearing, or send a written response to:

Town of Mesilla
Community Development Department
PO Box 10
Mesilla, NM 88046.

Letters or comments must be received before the Public Hearing. In addition to mailing the letter, a copy may be faxed to Larry Shannon at 575-541-6327, or e-mailed to larrys@mesillanm.gov to ensure timely receipt of your comments.

POSTED: July 19, 2019

Town of Mesilla, New Mexico

DATE July 19, 2019

Dear Property Owner:

In accordance with the Town of Mesilla regulations regarding variances, I am notifying you as, a neighboring property owner within 100 feet of the subject property, the Town of Mesilla Planning, Zoning and Historical Appropriateness Commission (PZHAC) will be holding a Public Hearing on:

Monday, August 5, 2019 at 6:00 PM
at: Town of Mesilla
2231 Avenida de Mesilla
Mesilla, NM 88046

to obtain input on the following zone change requests:

1. **Z19-002** – 1985 Calle de Colon, submitted by Sylvia J. and David B. Fierro; an application for a zone change from Historical Residential (HR) to Historical Commercial (HC) for a 7749 square foot residential parcel located adjacent to the west side of Palacio's Bar.
2. **Z19-003** – 2600 Avenida de Mesilla, submitted by Velia Chavez; an application for a zone change from Historical Residential (HR) to Historical Commercial (HC) for a 1552 square foot parcel that contains Palacio's Bar.

Anyone who is concerned with this matter may address the PZHAC at the Public Hearing, or send a written response to:

Town of Mesilla
Community Development Department
PO Box 10
Mesilla, NM 88046.

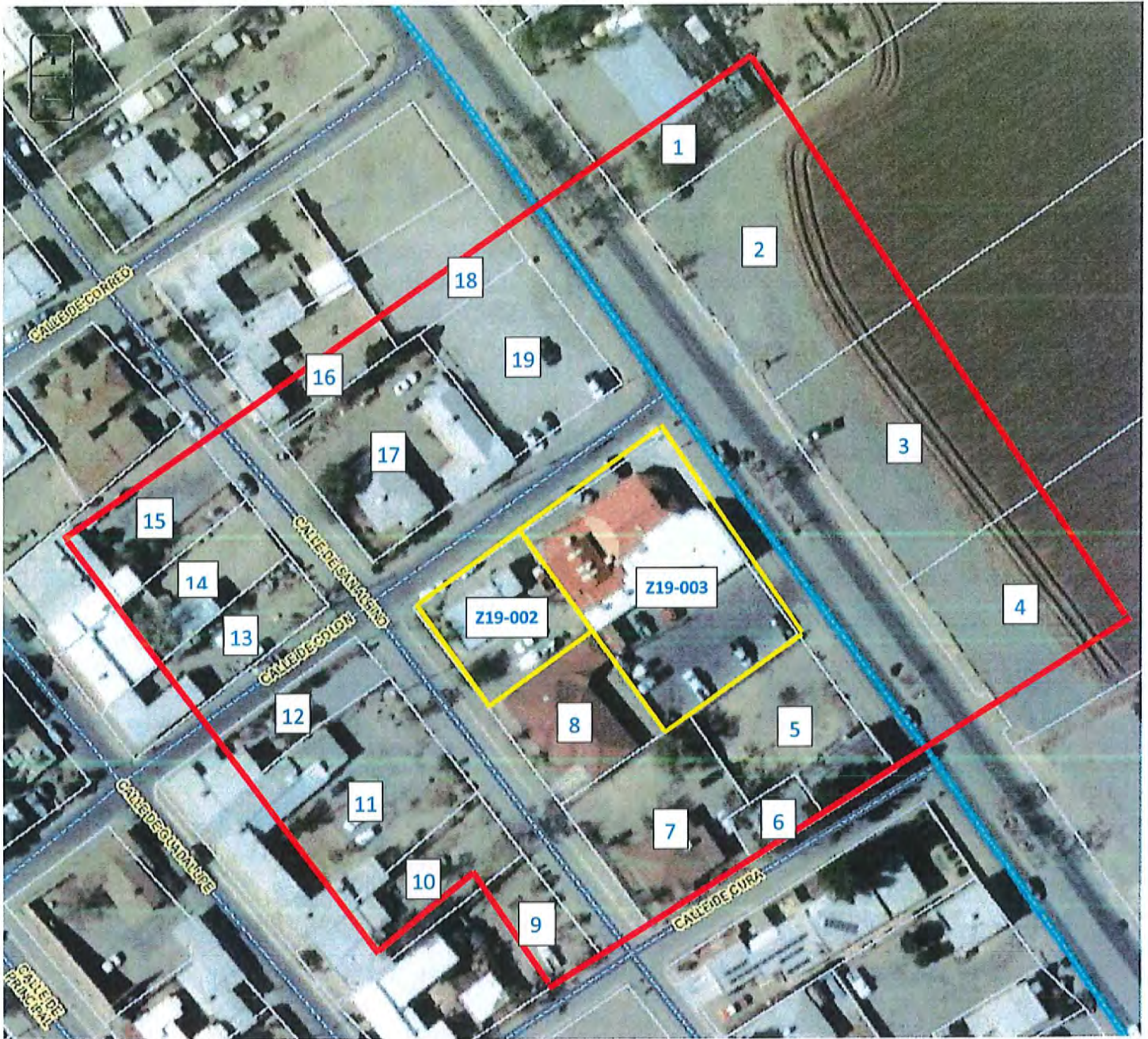
Letters or comments must be received before the Public Hearing. In addition to mailing the letter, a copy may be faxed to Larry Shannon at 575-541-6327, or e-mailed to larrys@mesillanm.gov to ensure timely receipt of your comments.

Sincerely,



Larry Shannon
Community Development Coordinator
Town of Mesilla

ZONE CHANGE - NOTIFICATION MAP
[Z19-002, Z19-003]
HISTORICAL RESIDENTIAL (HR) TO HISTORICAL COMMERCIAL (HC)



APPLICANTS

Z19-002 : Sylvia J Fierro, PO Box 1725, Mesilla, NM 88046

Z19-003 : Velia Chavez (Palacio's Bar), 2600 Avenida de Mesilla, Las Cruces, NM 88005

NOTIFIED PROPERTY OWNERS

[Z19-002, Z19-003]

1. Mary V Alexander Farm Property
(Chris Alexander)
1912 Newton
Las Cruces, NM 88001
2. Tamara Alexander
1946 Mahogany Drive
Las Cruces, NM 88001
3. Tamara Alexander
1946 Mahogany Drive
Las Cruces, NM 88001
4. Mary Frances A Bird
1912 Newton
Las Cruces, NM 88001
5. Manuela C Orona
PO Box 87
Mesilla, NM 88046-0087
6. Nia Rucker
PO Box 1668
Mesilla, NM 88046
7. Jonathan E. Moore
PO Box 638
Mesilla Park, NM 88047
8. Jo Anna Maese
PO Box 300
Mesilla, NM 88046-0300
9. Antonia M Goodman
PO Box 130
Mesilla, NM 8806-0130
10. Sylvia M Saltero etal
PO Box 225
Mesilla, NM 88046-0225
11. J Paul Taylor
PO Box 113
Mesilla, NM 88046-0133
12. Emily Coss
404 North Armijo Street
Las Cruces, NM 88005
13. Ruben & Maria Rivera
PO Box 966
Mesilla, NM 88046
14. Stephen F Pate
PO Box 701
Mesilla, NM 88046
15. Ricardo Perez
2542 Vista de Dios
Las Cruces, NM 88005
16. ETMSS 3 LLC
PO Box 358
Mesilla Park, NM 88047
17. Laura M Lichtenstein Trustee
(Laura M Lichtenstein Rev Trust)
5 Cholla
Santa Fe, NM 87506
18. Richard P & Clara M Lujan
PO Box 74
Mesilla, NM 88046-0074
19. Richard P & Clara M Lujan
PO Box 74
Mesilla, NM 88046-0074

Town of Mesilla, New Mexico

Phone (575) 524-3262

P.O. Box 10

2231 Avenida de Mesilla, Mesilla, NM 88046



Application Form For Zone Change

Case # 060946 Date Submitted JULY 1, 2019

Discussed by: L. SHANNON Date (s) AUG. 5, 2019 (P2HAE)
PUBLIC HEARING

Section 1:

Name (s) of Property Owner (s) SYLVIA J FIERRO AND DAVID B. FIERRO

Address PO Box 1725 Mesilla Park, NM Phone 575 642 7964

Name of Applicant (s) SYLVIA J FIERRO AND DAVID B. FIERRO

Address Po Box 1725 Mesilla Park, NM Phone 575 642 7964

Section 2:

Property Description: Address 1985 Calle de Colon

Legal Description Lot (s) Sec 25 T.23S., R.1E., NMPM Block _____

Subdivision _____

If legal description is in metes and bound; is it attached to the application? Yes No _____

Survey Plat attached: Yes _____ No _____

Area (sq. ft. or acres) _____ Present Zone Res Present Land Use Residential (Rental)

Proposed Land Use:

Commercial Rental - CHANGE from Residential

Section 3:

Why is this change of zoning status being requested?

See attached

Signatures: Property Owner Sylvia J. Ferris David B. Ferris
Applicant Sylvia J. Ferris David B. Ferris

NOTICE: NO APPLICATION WILL BE ACCEPTED WITHOUT THE SIGNATURE OF THE OWNER (S) OF RECORD OF THE ABOVE DESCRIBED PROPERTY. IF MORE THAN ONE, ALL OWNERS OF OR THEIR AGENTS MUST SIGN.

Fee Paid : Yes No Affidavit : Yes No

Received by: _____ Receipt #: _____ Amount: _____

Section 3: Why is the change in zoning being requested

1. Origin of the Property: Subject property is currently zoned as a residential property. It originally was built around the 1930's and owned and occupied by pioneer Mesilla Residents, i.e. Pablo and Alcaria Salcido. Through the inheritance process it was passed on to Edward and Virginia Maese, who subsequently legally passed on the property to their daughter and her husband, Sylvia and David Fierro, the requesters of this zone change.

2. Past Activity of the Property: Upon obtaining the property, we made substantial and much needed improvements to the property. We submitted our plans and complied with all of the requirements of the Town of Mesilla and the State of New Mexico. We replaced all of the original windows with wood windows as requested by the Town of Mesilla. We made substantial improvements to the interior and exterior of the building with the intent of renting the property. The property is currently under rental management contract with:

Ms. Beth Johnson – Las Cruces Homes and Land

NM License #16918

3. **Current Activity of the Property** - In conjunction with Ms. Johnson, we have been actively trying to rent the property and have encountered a significant hurdle. The property is adjacent to the Palacio Bar and this has made it difficult to rent as a residential rental property. When the potential renters learn that the property is next to the Bar, they are no longer interested due to the potential noise, parking issues, and the risk of renting the property next to the bar. It is causing us a financial hardship as the property has been vacant for an extended length of time.

4. **Reason For Requesting the Zone change** – In discussion with Ms. Johnson, she is confident that the property will rent as a commercial property if the change is approved.

a. It should be noted that the property is located close to Avenida De Mesilla which is predominately populated with Commercial Properties.

b. Few changes would be required as there is sufficient parking available for commercial activity.

- c. The change would not increase or change the traffic pattern for the property.
- d. The proximity to the bar would not be a significant issue if the zone change is approved.
- e. Queries about the potential renting of the property are from "office type" of businesses. Being close to a Bar is not an issue to the potential commercial renters.
- f. Finally, the financial impact of keeping the property vacant will be alleviated.

Thus based on the above, we respectfully request that a property change be granted for this property. We remain committed to following and adhering to the requirements requested by the Town of Mesilla.

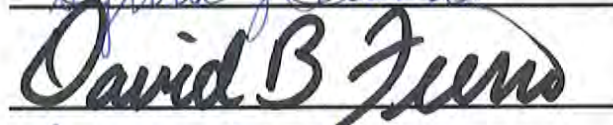
Signatures:

Property Owners:

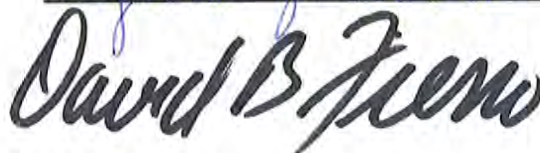
Sylvia J. Fierro



David B. Fierro



Applicants:



ZONE CHANGE REQUEST Z19-003
[PZHAC PUBLIC HEARING AND REVIEW]
STAFF ANALYSIS
(PRESENTED TO PZHAC 8/5/19)

Z19-003 – 2600 Avenida de Mesilla, submitted by Velia Chavez; an application for a zone change from Historical Residential (HR) to Historical Commercial (HC) for a 15512 square foot parcel that contains Palacio’s Bar.

Description of Request:

The property in question is located directly on Avenida de Mesilla and has contained a commercial bar on it continuously since 1936. It has been zoned Historical Residential (HR) since the inception of the zoning, and the bar has been considered legal non-conforming. (According to the applicant, she has kept the property zoned Historical Residential for fear that commercial zoning would result in higher real estate taxes.) The applicant would now like to bring the zoning of the property into conformity with the commercial use of the property. The proposed commercial zoning also complies with the Comprehensive Plan for the Town, which recognizes that commercial uses should be located along Avenida de Mesilla, and that this area should be zoned Historic Commercial.

Consistency with the Code:

The proposed zone change will meet the requirements of Chapter 18.90 (Amendments, Supplements, or Repeals – see attached) the Code concerning zone changes.

The PZHAC will need to make the following Findings for approval:

- The PZHAC has jurisdiction to review this request.
- The zoning code allows this type of zone change request.
- The application meets the requirements of the Code for a zone change.
- The requested zone change would not be out of character with the Comprehensive Plan, nor will it constitute “spot zoning”.
- The proposed zoning, as requested, or amended with conditions; will be beneficial to the Town.
- The proposed zone change meets all other applicable Code requirements.

PZHAC OPTIONS:

- Recommend approval to the BOT of application.
- Recommend approval to the BOT of application with conditions.
- Reject the application.

PZHAC ACTION:

Doña Ana County, NM

General Reference Maps

2014 Aerial

Addresses

County Address Points

Select Search

Maps

Legend

Map Themes

Parcels

UDC Zoning

Roads and Transportation

NM House Districts

NM Senate Districts

County Commission Districts

City Council Districts

Median Household Income

General Land Ownership

Account Number: [R0401104](#)

Parcel Number: 4006137313489

Owner: CHAVEZ VELIA S

Mail Address: 1330 S CHAPARRO

Subdivision:

Property Address: 2600 AVENIDA DE
MESILLA

Acres: 0



PHOTOS OF PROPOERTY FROM AVENIDA DE MESILLA



Town of Mesilla, New Mexico

DATE July 19, 2019

Dear Property Owner:

In accordance with the Town of Mesilla regulations regarding variances, I am notifying you as, a neighboring property owner within 100 feet of the subject property, the Town of Mesilla Planning, Zoning and Historical Appropriateness Commission (PZHAC) will be holding a Public Hearing on:

Monday, August 5, 2019 at 6:00 PM
at: Town of Mesilla
2231 Avenida de Mesilla
Mesilla, NM 88046

to obtain input on the following zone change requests:

1. **Z19-002** – 1985 Calle de Colon, submitted by Sylvia J. and David B. Fierro; an application for a zone change from Historical Residential (HR) to Historical Commercial (HC) for a 7749 square foot residential parcel located adjacent to the west side of Palacio's Bar.
2. **Z19-003** – 2600 Avenida de Mesilla, submitted by Velia Chavez; an application for a zone change from Historical Residential (HR) to Historical Commercial (HC) for a 1552 square foot parcel that contains Palacio's Bar.

Anyone who is concerned with this matter may address the PZHAC at the Public Hearing, or send a written response to:

Town of Mesilla
Community Development Department
PO Box 10
Mesilla, NM 88046.

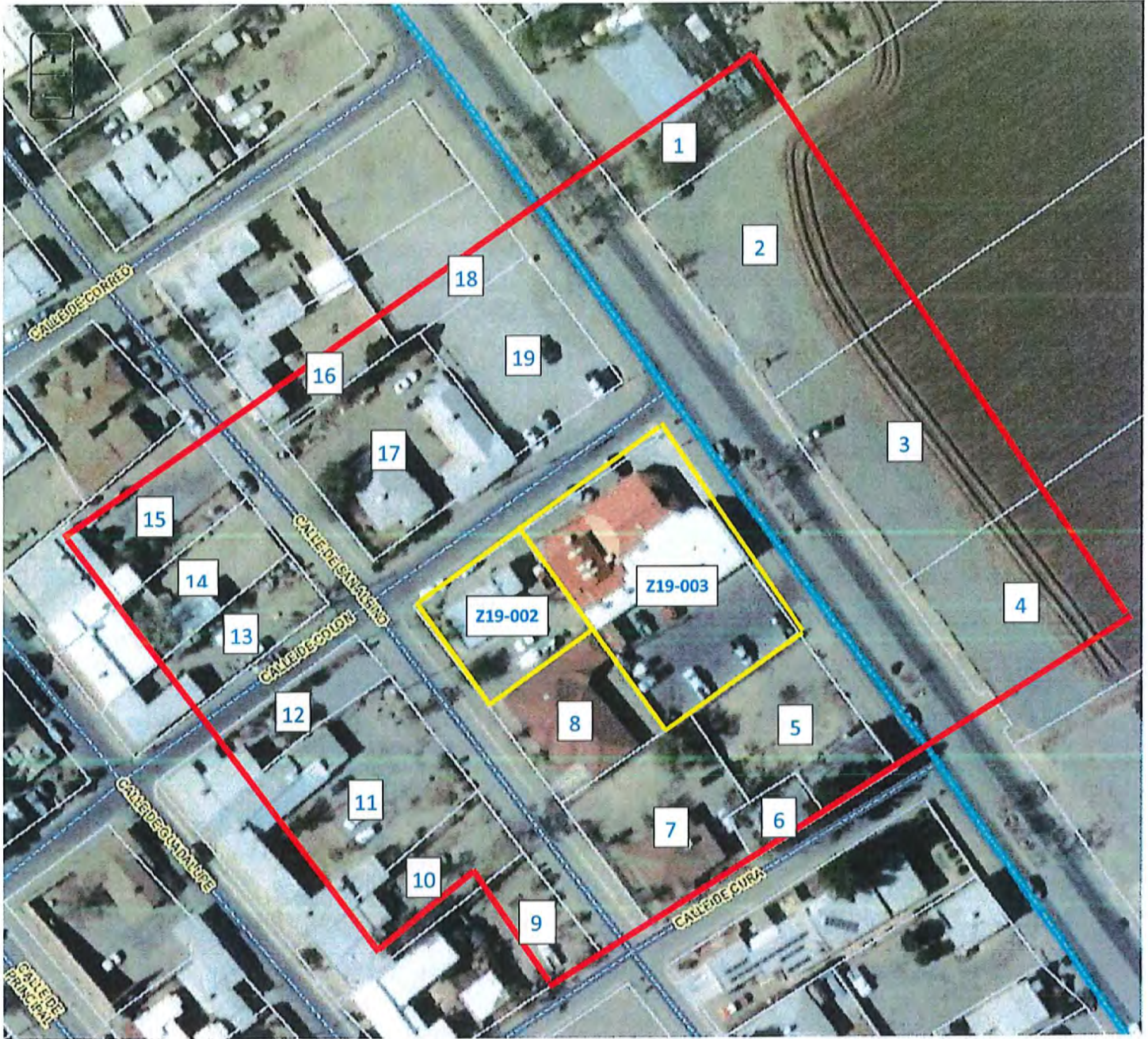
Letters or comments must be received before the Public Hearing. In addition to mailing the letter, a copy may be faxed to Larry Shannon at 575-541-6327, or e-mailed to larrys@mesillanm.gov to ensure timely receipt of your comments.

Sincerely,



Larry Shannon
Community Development Coordinator
Town of Mesilla

ZONE CHANGE - NOTIFICATION MAP
[Z19-002, Z19-003]
HISTORICAL RESIDENTIAL (HR) TO HISTORICAL COMMERCIAL (HC)



APPLICANTS

Z19-002 : Sylvia J Fierro, PO Box 1725, Mesilla, NM 88046

Z19-003 : Velia Chavez (Palacio's Bar), 2600 Avenida de Mesilla, Las Cruces, NM 88005

NOTIFIED PROPERTY OWNERS

[Z19-002, Z19-003]

1. Mary V Alexander Farm Property
(Chris Alexander)
1912 Newton
Las Cruces, NM 88001
2. Tamara Alexander
1946 Mahogany Drive
Las Cruces, NM 88001
3. Tamara Alexander
1946 Mahogany Drive
Las Cruces, NM 88001
4. Mary Frances A Bird
1912 Newton
Las Cruces, NM 88001
5. Manuela C Orona
PO Box 87
Mesilla, NM 88046-0087
6. Nia Rucker
PO Box 1668
Mesilla, NM 88046
7. Jonathan E. Moore
PO Box 638
Mesilla Park, NM 88047
8. Jo Anna Maese
PO Box 300
Mesilla, NM 88046-0300
9. Antonia M Goodman
PO Box 130
Mesilla, NM 8806-0130
10. Sylvia M Saltero etal
PO Box 225
Mesilla, NM 88046-0225
11. J Paul Taylor
PO Box 113
Mesilla, NM 88046-0133
12. Emily Coss
404 North Armijo Street
Las Cruces, NM 88005
13. Ruben & Maria Rivera
PO Box 966
Mesilla, NM 88046
14. Stephen F Pate
PO Box 701
Mesilla, NM 88046
15. Ricardo Perez
2542 Vista de Dios
Las Cruces, NM 88005
16. ETMSS 3 LLC
PO Box 358
Mesilla Park, NM 88047
17. Laura M Lichtenstein Trustee
(Laura M Lichtenstein Rev Trust)
5 Cholla
Santa Fe, NM 87506
18. Richard P & Clara M Lujan
PO Box 74
Mesilla, NM 88046-0074
19. Richard P & Clara M Lujan
PO Box 74
Mesilla, NM 88046-0074

PZHAC NEW BUSINESS

AUGUST 5, 2019

DECISION ITEMS

ZONE CHANGES

PZHAC ACTION FORM
ZONE CHANGE Z19-002
[PZHAC PUBLIC HEARING – 8/5/19]
DECISION

Decision to be based on information provided during Public Hearing for Z19-002

Z19-002 – 1985 Calle de Colon, submitted by Sylvia J. and David B. Fierro; an application for a zone change from Historical Residential (HR) to Historical Commercial (HC) for a 7749 square foot residential parcel located adjacent to the west side of Palacio's Bar.

Staff Analysis:

The proposed work was discussed in the PZHAC Public Hearing held prior to this meeting. (Please refer to the information provided in the write-up for this item in the Public Hearing.)

If it is determined that the proposed Zone Change will be acceptable for the property and the good of the Town, then the request can proceed on the assumption that all requirements of the Code will be satisfied. The PZHAC should approve the request based on the Draft Resolution and attached Findings.

If, on the other hand, it is determined that the proposed Zone Change will not be acceptable for the property and the good of the Town, then the request cannot proceed on the assumption that all requirements of the Code will be satisfied. The PZHAC should deny the request, and develop a new Resolution and Findings outlining the reasons for denial.

Consistency with the Code:

The PZHAC will need to determine that the proposed Zone Change be consistent with the Town's plans for this property. Additionally, the PZHAC will also need to determine that the request, as submitted, is consistent with the all other sections of the **Codes** and Comprehensive Plan that may be applied to this project.

PZHAC OPTIONS:

1. Recommend approval of the requested Zone Change to the BOT.
2. Recommend approval of the requested Zone Change to the BOT with conditions (Conditional Zoning).
3. Reject the Zone Change.

PZHAC ACTION:

Attached is a resolution that may be used by the PZHAC if it is determined that the requested zone change meets the requirements for approval. If the request does not meet the requirements or Findings listed, or there are issues or negative Findings brought up during the Public Hearing that negatively affect approval, then the request may be denied and a new resolution addressing any such new findings will be drafted.

**PLANNING ZONING HISTORICAL APPROPRIATENESS COMMISSION
(PZHAC)**

RESOLUTION 2019-002

WHEREAS, the PZHAC convened on August 5, 2019 at a Public Hearing and Regular Meeting, to hear and determine the case regarding a Zone Change request from Historical Residential (HR) to Historical Commercial (HC) for a 0.18 acre parcel located at 1985 Calle de Colon; and

WHEREAS, the Zone Change was requested by Sylvia J. and David B. Fierro, owners of the property; and

WHEREAS, a quorum of the PZHAC were present at the Public Hearing and subsequent meetings; and

WHEREAS, the application for a Zone Change was filed on July 1, 2019; and

WHEREAS, neighboring property owners within 100 feet of the subject property were notified of the proposed special use permit by certified mail as per MTC 18.90.060 and the property was posted giving notice of the proposed hearing; and

WHEREAS, there were no negative responses from notified property owners; and

WHEREAS, the subject property is adjacent to Palacio's Bar, a commercial operation located on Avenida de Mesilla; and

WHEREAS, the close proximity of the dwelling to the bar has made it almost impossible to rent the dwelling as a residence; and

WHEREAS, a public hearing was held by the Planning, Zoning, and Historical Appropriateness Commission on August 5, 2019, according to the requirements of MTC 18.90, during their regular meeting; and

WHEREAS, the Public Hearing of August 5, 2019 was closed after taking public comments; and

WHEREAS, the case was considered at the regular meeting following the Public Hearing; at which meeting the PZHAC determined that the proposed Historic Commercial (HC) zoning will result in a zoning of the subject property that is beneficial to the Town; and

WHEREAS, the PZHAC voted to recommend the zone change for approval to the Board of Trustees; and

NOW, THEREFORE, BE IT RESOLVED THAT:

The Planning, Zoning and Historical Appropriateness Commission of the Town of Mesilla recommends approval of the request for a Zone Change to Historical Commercial (HC), with findings for said approval as stated in "Attachment A" attached to this resolution.

RESOLVED on this 5th day of August, 2019.

Russell Hernandez
PZHAC Chairman

ATTEST:

Larry Shannon
Community Development Coordinator

ATTACHMENT A

Z19-002

PZHAC FINDINGS:

- The PZHAC has jurisdiction to review this request.
- The zoning code allows this type of zone change request.
- The application meets the requirements of the Code for a zone change.
- The requested zone change would not be out of character with the Comprehensive Plan, nor will it constitute “spot zoning”.
- The proposed zoning, as requested, or amended with conditions; will be beneficial to the Town.
- The proposed zone change meets all other applicable Code requirements.

DRAFT

PZHAC ACTION FORM
ZONE CHANGE Z19-003
[PZHAC PUBLIC HEARING – 8/5/19]
DECISION

Decision to be based on information provided during Public Hearing for Z19-003

Z19-003 – 2600 Avenida de Mesilla, submitted by Velia Chavez; an application for a zone change from Historical Residential (HR) to Historical Commercial (HC) for a 1552 square foot parcel that contains Palacio's Bar.

Staff Analysis:

The proposed work was discussed in the PZHAC Public Hearing held prior to this meeting. (Please refer to the information provided in the write-up for this item in the Public Hearing.)

If it is determined that the proposed Zone Change will be acceptable for the property and the good of the Town, then the request can proceed on the assumption that all requirements of the Code will be satisfied. The PZHAC should approve the request based on the Draft Resolution and attached Findings.

If, on the other hand, it is determined that the proposed Zone Change will not be acceptable for the property and the good of the Town, then the request cannot proceed on the assumption that all requirements of the Code will be satisfied. The PZHAC should deny the request, and develop a new Resolution and Findings outlining the reasons for denial.

Consistency with the Code:

The PZHAC will need to determine that the proposed Zone Change be consistent with the Town's plans for this property. Additionally, the PZHAC will also need to determine that the request, as submitted, is consistent with the all other sections of the Codes and Comprehensive Plan that may be applied to this project.

PZHAC OPTIONS:

4. Recommend approval of the requested Zone Change to the BOT.
5. Recommend approval of the requested Zone Change to the BOT with conditions (Conditional Zoning).
6. Reject the Zone Change.

PZHAC ACTION:

Attached is a resolution that may be used by the PZHAC if it is determined that the requested zone change meets the requirements for approval. If the request does not meet the requirements or Findings listed, or there are issues or negative Findings brought up during the Public Hearing that negatively affect approval, then the request may be denied and a new resolution addressing any such new findings will be drafted.

**PLANNING ZONING HISTORICAL APPROPRIATENESS COMMISSION
(PZHAC)**

RESOLUTION 2019-003

WHEREAS, the PZHAC convened on August 5, 2019 at a Public Hearing and Regular Meeting, to hear and determine the case regarding a Zone Change request from Historical Residential (HR) to Historical Commercial (HC) for a 15512 square foot parcel located at 2600 Avenida de Mesilla; and

WHEREAS, the parcel contains a commercial bar (Palacio's Bar) that has been at this location since 1936; and

WHEREAS, the bar is considered a legal non-conforming use because of the current Historical Residential zoning of the property; and

WHEREAS, the Zone Change was requested by Velia Chavez, owner of the property and bar; in order to bring the zoning of the property into compliance with the historical use of the property; and

WHEREAS, a quorum of the PZHAC were present at the Public Hearing and subsequent meeting; and

WHEREAS, the application for a Zone Change was filed on July 5, 2019; and

WHEREAS, neighboring property owners within 100 feet of the subject property were notified of the proposed special use permit by certified mail as per MTC 18.90.060 and the property was posted giving notice of the proposed hearing; and

WHEREAS, there were no negative responses from notified property owners; and

WHEREAS, a public hearing was held by the Planning, Zoning, and Historical Appropriateness Commission on August 5, 2019, according to the requirements of MTC 18.90, during their regular meeting; and

WHEREAS, the Public Hearing of August 5, 2019 was closed after taking public comments; and

WHEREAS, the case was considered at the regular meeting following the Public Hearing; at which meeting the PZHAC determined that the proposed Historic Commercial (HC) zoning will result in a zoning of the subject property that is more appropriate for the property and is beneficial to the Town; and

WHEREAS, the PZHAC voted to recommend the zone change for approval to the Board of Trustees; and

NOW, THEREFORE, BE IT RESOLVED THAT:

The Planning, Zoning and Historical Appropriateness Commission of the Town of Mesilla recommends approval of the request for a Zone Change to Historical Commercial (HC), with findings for said approval as stated in "Attachment A" attached to this resolution.

RESOLVED on this 5th day of August 2019.

Russell Hernandez
PZHAC Chairman

ATTEST:

Larry Shannon
Community Development Coordinator

ATTACHMENT A

Z19-003

PZHAC FINDINGS:

- The PZHAC has jurisdiction to review this request.
- The zoning code allows this type of zone change request.
- The application meets the requirements of the Code for a zone change.
- The requested zone change would not be out of character with the Comprehensive Plan, nor will it constitute “spot zoning”.
- The proposed zoning, as requested, or amended with conditions; will be beneficial to the Town.
- The proposed zone change meets all other applicable Code requirements.

DRAFT

PZHAC NEW BUSINESS

AUGUST 5, 2019

PZHAC DECISIONS

ZONING PERMITS

PZHAC ACTION FORM
ZONING PERMIT 060936
[PZHAC REVIEW – 8/5/19]
STAFF ANALYSIS

Decision to be based on information provided during the Work Session – Item 1

Case 060936 – 2461 Calle de Principal, submitted by Joseph W. Foster; a request for a zoning permit to construct a pergola over an outdoor commercial patio to shield customers from the sun at this address. Zoned: Historical Commercial (HC)

Staff Analysis:

The proposed work was discussed in the PZHAC Work Session held prior to this meeting. (Please refer to the information provided in the write-up for this item in the Work Session.)

If it is determined that the proposed pergola will be acceptable for the zoning of the property, or if an alternate solution is arrived at, then the request can proceed on the assumption that all requirements of the Code will be satisfied. The PZHAC should continue on to approve the request based on the Findings stated below.

If, on the other hand, it is determined that the proposed pergola shed will not be acceptable to the zoning of the property, and no other solution can be reached, then the PZHAC should either postpone the request further until the applicant can return with a proposal that meets the standards set forth by the PZHAC; or the PZHAC should deny the request based on the request not meeting any or all of the Findings as listed.

Estimated Cost: @ \$5,000.00

Consistency with the Code:

The PZHAC will need to determine that the proposed pergola will be consistent with the zoning requirements for this property. Additionally, the PZHAC will also need to determine that the request, as submitted, is consistent with the all other sections of the **Building and Zoning Codes** that may be applied to this project.

Findings:

- The PZHAC has jurisdiction to review and approve this request.
- The proposed work consists of installing a pergola over an outdoor commercial patio on a commercial property at this address.
- The PZHAC has determined that the proposed pergola meets all applicable Code requirements.

PZHAC OPTIONS:

1. Recommend approval of the requested zoning permit to the BOT.
2. Recommend approval of the requested zoning permit to the BOT with conditions.
3. Reject the permit.

PZHAC ACTION:

PZHAC ACTION FORM
ZONING PERMIT 060938
[PZHAC REVIEW – 8/5/19]
STAFF ANALYSIS

(Decision to be based on information provided during the Work Session – Item 2)

Case 060938 – 2424 Calle de Parian, submitted by Cecilia Quintana and Page Coleman; a request for a zoning permit to construct a wall on two sides of a residential property at this address. Zoned: Historical Residential (HR)

Staff Analysis:

The proposed work was discussed in the PZHAC Work Session held prior to this meeting. (Please refer to the information provided in the write-up for this item in the Work Session.)

If it is determined that the proposed rock wall is acceptable to the Town as proposed, or if an alternate solution is arrived at, then the request can proceed on the assumption that all requirements of the Code will be satisfied. The PZHAC should continue on to approve the request based on the Findings stated below.

If, on the other hand, it is determined that the proposed rock wall is not be acceptable to the Town, and no other solution can be reached, then the PZHAC should either postpone the request further until the applicant can return with a proposal that meets the standards set forth by the PZHAC; or the PZHAC should deny the request based on the request not meeting any or all of the Findings as listed.

Estimated Cost: @ \$20,000.00

Consistency with the Code:

The PZHAC will need to determine that the proposed rock wall will be consistent with the requirements of the HR zoning district. Additionally, the PZHAC will need to determine that the request meets all other development and application requirements of the Code.

The PZHAC will also need to determine that the request, as submitted, is consistent with the all other sections of the **Building and Zoning Codes** that may be applied to this project.

Findings:

- The PZHAC has jurisdiction to review and approve this request.
- The proposed work consists of constructing a rock wall around two sides of a residential property at this address.
- The PZHAC has determined that the proposed rock wall meets all applicable Code requirements.

PZHAC OPTIONS:

1. Recommend approval of the requested zoning permit to the BOT.
2. Recommend approval of the requested zoning permit to the BOT with conditions.
3. Reject the permit.

PZHAC ACTION:

**PZHAC ACTION FORM
ZONING PERMIT 060942
[PZHAC REVIEW – 8/5/19]
STAFF ANALYSIS**

(Decision to be based on information provided during the Work Session – Item 4)

Case 060942 – 2290 Calle de Parian, Suite D; submitted by Felix Armijo; a request for a zoning permit to construct an addition to a restaurant structure (Café Don Felix) at this address. Zoned: Historical Commercial (HC)

Staff Analysis:

The proposed work was discussed in the PZHAC Work Session held prior to this meeting. (Please refer to the information provided in the write-up for this item in the Work Session.)

If it is determined that the proposed addition is acceptable to the Town as proposed, or if an alternate solution is arrived at, then the request can proceed on the assumption that all requirements of the Code will be satisfied. The PZHAC should continue on to approve the request based on the Findings stated below.

If, on the other hand, it is determined that the proposed addition is not be acceptable to the Town, and no other solution can be reached, then the PZHAC should either postpone the request further until the applicant can return with a proposal that meets the standards set forth by the PZHAC; or the PZHAC should deny the request based on the request not meeting any or all of the Findings as listed.

Estimated Cost: @ \$20,000.00

Consistency with the Code:

The PZHAC will need to determine that the proposed addition be consistent with the requirements of the HR zoning district. Additionally, the PZHAC will need to determine that the request meets all other development and application requirements of the Code.

The PZHAC will also need to determine that the request, as submitted, is consistent with the all other sections of the **Building and Zoning Codes** that may be applied to this project.

Findings:

- The PZHAC has jurisdiction to review and approve this request.
- The proposed work consists of constructing an addition to house a walk-in freezer, refrigerator, and food prep area to the rear of a restaurant at this address.
- The PZHAC has determined that the proposed addition meets all applicable Code requirements.

PZHAC OPTIONS:

1. Recommend approval of the requested zoning permit to the BOT.
2. Recommend approval of the requested zoning permit to the BOT with conditions.
3. Reject the permit.

PZHAC ACTION:

**PZHAC ACTION FORM
ZONING PERMIT 060943
[PZHAC REVIEW – 8/5/19]
STAFF ANALYSIS**

Item:

Case 060943 – 2920 Camino Castillo, submitted by Justin Bannister; a request for a zoning permit to allow construction of an in-ground pool behind a dwelling at this address. Zoned: Single Family Residential (R-1)

DESCRIPTION OF REQUEST:

The applicant would like to install an in-ground swimming pool in an area behind his dwelling that is enclosed by a six-foot high stucco wall. The applicant just recently bought the property and is in the process of installing a wood addition to the four-foot high rock wall around the property to create a privacy and security fence.

Since the property is in a Residential, one-acre (R-1) zoning district, there are no architectural or historical guidelines that need to be met for the pool. Safety or security fencing may be required around the pool by the Building Code or by CID.

ESTIMATED COST: @ \$64,000.00

CONSISTENCY WITH THE CODE:

The PZHAC will need to determine that the proposed pool will be compatible with the R1 Zoning of the property. (Private pools are generally considered to be an ancillary or subordinate use to the residential use of a property.)

(In addition to meeting the Mesilla zoning code requirements, the applicant will need to meet any fencing and safety measures required by CID for this type of pool.

PHOTO FROM UNIVERSITY AVE. SHOWING STUCCO WALL THAT WILL BE AROUND POOL



Doña Ana County, NM

General Reference Maps

2014 Aerial | Addresses | County Address Points

Select Search Type: Account Number ▾ Enter

Maps | Legend

Map Themes

Parcels

UDC Zoning

Roads and Transportation

NM House Districts

NM Senate Districts

County Commission Districts

City Council Districts

Median Household Income

General Land Ownership

Account Number: [R0400923](#)
Parcel Number: 4006137513504
Owner: KIEHL DALE J
Mail Address: 2920 CAMINO
CASTILLO
Subdivision: LOS CASTILLO DEL SOL
SUBDIVISION 1198
Property Address: 2920 CAMINO
CASTILLO
Acres: 1

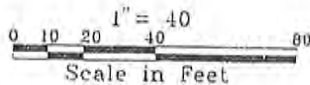
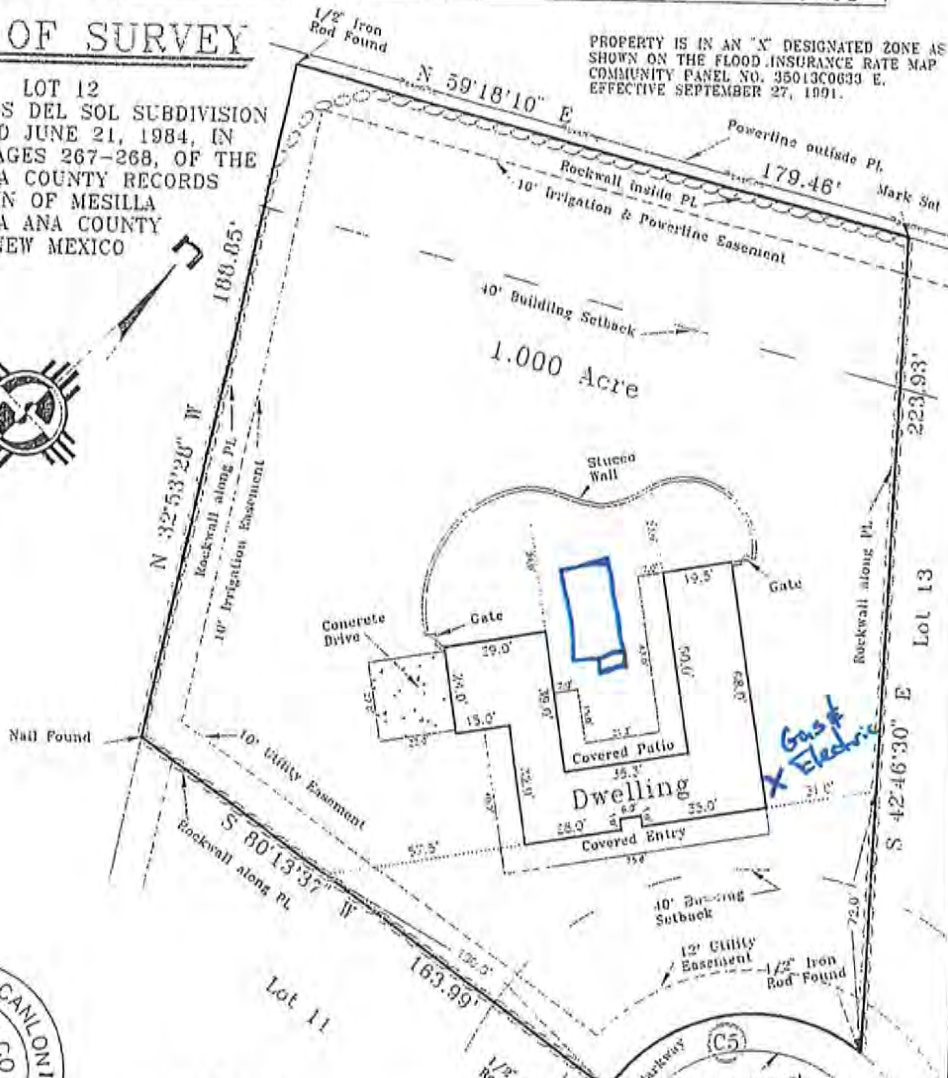


| CURVE | RADIUS | LENGTH | TANGENT | CHORD | BEARING | DELTA |
|-------|--------|--------|---------|--------|---------------|-----------|
| C5 | 50.00' | 30.00' | 5:48 | 31.74' | S 36°03'13" W | 21°40'21" |

PLAT OF SURVEY

LOT 12
 LOS CASTILLOS DEL SOL SUBDIVISION
 PLAT FILED JUNE 21, 1984, IN
 BOOK 13, PAGES 267-268, OF THE
 DONA ANA COUNTY RECORDS
 TOWN OF MESILLA
 DONA ANA COUNTY
 NEW MEXICO

PROPERTY IS IN AN "X" DESIGNATED ZONE AS SHOWN ON THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 35013C0633 E. EFFECTIVE SEPTEMBER 27, 1991.



SURVEYOR'S CERTIFICATE

THIS IS TO CERTIFY THAT I AM A REGISTERED LAND SURVEYOR, THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MADE BY ME OR UNDER MY DIRECTION AND THAT IT IS TRUE AND CORRECT, MEETING THE MINIMUM REQUIREMENTS OF THE STANDARDS FOR LAND SURVEYS IN NEW MEXICO AS ADOPTED BY THE NEW MEXICO STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS TO THE BEST OF MY KNOWLEDGE AND BELIEF.

JUNE 26, 2003

DATE OF SURVEY

Terence G. Scanlon
 TERRY G. SCANLON - P.S. NO. 9433
 540 N. WATER STREET, LAS CRUCES, NM 88001

| | |
|----------|---------------|
| PREP BY | BRADY |
| DRAWN BY | C. SCANLON |
| FILE NO. | 03-06-0526 |
| DATE | JUNE 26, 2003 |



scanlon white inc.

540 North Water Street
 Las Cruces, New Mexico 88001
 Phone: (505) 525-2112
 Fax: (505) 525-1226



1230 Augustline Ave
Las Cruces, NM 88001
(575)993-0901
frank@poolsbydesign.us



New Mexico
License
#372522
www.poolsbydesign.us

Name Bannister Address _____ City, State & Zip _____
 Phone # _____ Alt. Phone # _____ Email _____

Pool Size 15 ft x 30 ft Pool Depth 3 ft to 5ft Surface Area 512 sq ft Volume 15,360 gallons
 Perimeter 112 in ft Pool Shape Rectangle Spa Size 6ft x7ft Spa Shape Rectangle
 Elevation Raised 1 ft Deck Area 700 sq ft Deck Material Conc w/Xcel

Layout and Excavation (Sec. 1)

City Permits _____ Pools By Design
 Layout, Elevations, Excavations _____ Pools By Design
 Hauling and Dump Fee \$0 Yes () No (xx)
 Tree Removal _____ Yes () No (xx)
 Rockwall Remove & Replace _____ Yes () No (xx)
 Remove Wall and Replace \$500 Yes (xx) No ()
 Special Dig _____

Plumbing (Sec. 2)

Channel Drain (3) _____ Pools By Design
 Skimmers Qty. 1 Pools By Design
 Spa Jets Qty. 6 incl Pools By Design
 Concrete Equip. Pad _____ Pools By Design
 Dedicated Suction for Auto Vac _____ Pools By Design
 Autofill and PVB Valve _____ Pools By Design
 Dedicated Gas Line 50 Included _____ Pools By Design
 Additional Gas Line \$500 Yes (xx) No ()

Steel & Structure (Sec. 3)

#3 Rebar, 6x6 Grid Walls, 6x12 Grid Floor _____ Pools By Design
 Shotcrete 8" Walls & 12" Bond Beam _____ Pools By Design
 Hydrostatic Relief Valve _____ Yes () No (x)
 Swim Out/Bench _____ Yes () No ()
 Sunshelf \$500 Yes (xx) No ()
 Elevated Spa 12" \$500 Yes (xx) No ()

Decking (Sec. 4)

700 sq. ft. Concrete Yes (x) No ()
 Pavers sq. ft. _____ Yes () No (xx)
 Type _____
 Lace Xcel \$2,100 Yes (xx) No ()
 Color TBD
 Extra Add'l Work _____
 Coping sq. ft. _____ Yes (x) No ()
 Type _____

Deck Accessories (Sec. 5)

3 step ladder & inset steps _____ Yes () No (xx)
 Diving Board _____ Yes () No (xx)
 Model & Color _____
 Slide _____ Yes () No (xx)
 Model, Curve & Color _____
 Boulder Setting _____ Yes () No (xx)
 Basketball Anchor \$0 Yes () No (xx)
 Umbrella Sleeve Qty. 1 incl Yes (xx) No ()

Electrical, Lights and Equipment (Sec.6)

Automatic Timer w/ Freeze Control _____ Yes () No (xx)
 Remote Control \$2,500 Yes () No (xx)
 Model EZ Touch 4 w/screen logic
 LED Lights Qty. 8 \$2,400 Yes (xx) No ()
 Type Glo Brites
 Salt Chlorine Generator n/a
 Circulation Pump Type Superflo Pools By Design
 Pool/Spa Filter Type 420 Clean and Clear Pools By Design
 Cleaning Valve _____ Yes () No (xx)
 Waterfall/Water Feature Pump Hp. _____
 Heater 250K BTU \$2,300 Yes () No ()
 Solar \$0 Yes () No (xx)
 Extra Actuators _____ Yes () No (xx)
 Description _____

Plaster (Sec. 7)

White Plaster _____ Yes () No (xx)
 Sparkle Quartz \$2,600 Yes (xx) No ()
 Type TBD
 Colorscaapes \$0 Yes () No (xx)
 Type _____

Tile (Sec.8)

6" Water Line Tile incl NPT/alto
 Swimlane Tile _____ Yes (xx) No ()
 Type _____

Pool Cleaner (Sec. 9)

Auto Vac Rebel \$375 Yes (xx) No ()
 In Floor Cleaner _____ Yes () No (x)

Vanishing Edge (Sec. 10)

Dimensions _____ Yes () No (xx)
 Equipment _____
 Notes _____
 Price \$0

Water Feature (Sec. 11)

Waterfall \$0 Yes () No (xx)
 Description _____
 _____ Yes () No (xx)
 Description _____

Automatic Safety Cover

Type _____ Yes () No (xx)
 Pools By Design
 Stone/Poured Lid \$0 Yes () No (xx)
 Type _____
 Material Color _____

| | | | |
|------------------|----------|----------------|----------|
| Pool Price | \$38,500 | Excavation 20% | \$11,800 |
| Spa Price | \$6,500 | Cover 1st Half | \$0 |
| Cover Price | \$0 | Shell 25% | \$14,750 |
| Additional Items | \$14,275 | Cover 2nd Half | \$0 |
| Sub Total | \$59,275 | Deck 25% | \$14,750 |
| Sales Tax | \$4,849 | Plaster 20% | \$11,800 |
| Total | \$64,124 | Start Up 10% | \$5,900 |
| Deposit | \$5,124 | Total Draw | \$59,000 |
| Balance | \$59,000 | | |

Preferred form of payment is cash, check or bank transfer (ACH)
 Credit cards accepted only upon approval with a 3.2% fee. Initials _____

Sales Manager _____
 Buyer _____
 Date _____

Maintenance Equipment

Test Strips, Thermometer, Vac Head _____ Pools By Design
 Telepole, Brush & Leaf Skimmer _____ Pools By Design
 Start - Up Chemicals _____ Pools By Design

Start Up

Pool School _____ Pools By Design

| | | | | | |
|-------------|---------|-----------|---------|------------|-------|
| Section 1 | \$500 | Section 5 | \$0 | Section 9 | \$375 |
| Section 2 | \$500 | Section 6 | \$7,200 | Section 10 | \$0 |
| Section 3 | \$1,000 | Section 7 | \$2,600 | Section 11 | \$0 |
| Section 4 | \$2,100 | Section 8 | \$0 | | |
| Grand Total | | | | \$14,275 | |

1. Provide concrete box for auto-cover. 2. Provide electrical hook-up for auto-cover.

All subcontractors are contracted by Pools By Design. Please do not communicate changes or extra work directly to subcontractors. Contact Pools By Design.

Initials _____

Pools By Design

- 1 The Pools By Design contract, Pools By Design pricing agreement, pool drawing and Pools By Design Limited Warranty constitute the entire agreement between Pools By Design and the customer. The parties are not bound by any oral expression or representation by any agent of either party. No other work shall be done without prior written authorization by a customer approved changed-order. No work, other than for pool site preparation, will be done by Pools By Design unless specified by this contract. Pools By Design shall (1) ensure compliance with the terms and conditions of this contract by company personnel, suppliers and subcontractors, (2) ensure the complete pool, deck and accessories are free of defects at time of the customer acceptance and (3) meet or exceed city/ county requirements.
- 2 It is understood that the contractor will be permitted free and ready access to the pool site and adequate working space. If access is required through adjacent properties for pool construction, the customer shall provide written notification to Pools By Design that access has been approved by affected property owners. This written notice shall also state that the customer shall be solely responsible for the cost of repair for any property damage resulting from Pools By Design activities and that Pools By Design and its subcontractors shall be held harmless, unless contractor is deemed to be negligent (or otherwise specified in contract).
- 3 Customer has directed the location of pool as shown on the customer approved pool drawing. There shall be no liability on the part of Pools By Design or the ultimate location of the pool. Any necessary vacancies, zoning approval, or fees required to construct the pool at the location specified by the customer shall be responsibility of the customer. Any necessary drainage and disposition of overflow water beyond the limits of the pool shall be provided by customer, at his/her sole expense, and shall meet city and / or county requirements.
- 4 By approval of this contract, the customer verifies there are known conditions that would adversely affect pool construction or the Pools By Design warranty, including rock formation, hardpan conditions, boulders, cesspools, septic tanks, gas lines, water pipes, drain pipes, irrigation pipes or other underground obstructions/conditions which would require unplanned work.
- 5 Pool dimensions are within reasonable tolerances, plus or minus 3 inches.
- 6 Pools By Design assumes no responsibility for sewer lines, inadequate electrical service, overhead wire removal, septic tanks or underground utilities; it is the owner's responsibility to handle necessary arrangements for these items.
- 7 Sprinkler lines, sprinkler heads and landscaping replacement are not part of this contract unless otherwise specified in writing.
- 8 Pools By Design has not made and shall not be required to make any soil tests of the area where the pool is to be located. Pools By Design has executed this contract with the understanding and on the condition that no adverse soil conditions exist at the pool location. Customer represents that he/she knows of no adverse soil condition which may have an adverse affect. If, at any time after commencement of the work hereunder, Pool By Design should be aware of any soil conditions which might ave an adverse affect tot the pool, Pools By Design shall immediately notify owner in writing of such condition. Pending contractual agreement on the resolution, construction will be terminated.
- 9 The Pools By Design warranty does not cover defects or damage of any kind resulting from soil conditions, either surface or subsurface, such as subsidence, erosion, shifting, sliding, ground swelling, (as with clay soils) or defects or damage resulting from ground water condition. **CUSTOMER IS URGED TO HAVE THESE MATTERS ASSESSED BY A QUALIFIED ENGINEER.**
- 10 The customer will furnish gas, water, electricity and sewer utilities on the premises at no cost to Pools By Design.
- 11 Customer is responsible for pool enclosure., New Mexico/Texas residents please contact the City or County to confirm any specific requirements with regard to fence heights and enclosures.
- 12 This contract includes only the work expressed in writing, extras or changes, if any, will be changed at Pools By Design current rates and are payable before work begins. Both parties agree to all changes in writing. NO EXCEPTIONS.
- 13 Pools By Design is not responsible for damage to curbs, sidewalks, driveways, sewers, patios, lawn, sprinkler systems, shrubs, trees, or other improvements. Pools By Design will exercise care to limit any such damage.
- 14 The Pools By Design representative has explained the Pools By Design limited warranty to be provided to customer upon acceptance of the pool. No warranty will be honored unless payment has been received in full.
- 15 In the event that payment specified herein are not made, contractor may discontinue work until the entire balance has been paid, and then complete the work.
- 16 The pool is to be continued in _____ weeks or as specified on th contract, starting form the date of completed excavation. Pools By Design is not responsible for days lost due to government controls, strikes, fire, floods, windstorms, rain, snow, acts of God, legal holidays or other unavoidable delays beyond the control of Pools By Design (i.e. discontinuation by manufacturer of tile and / or equipment) or lack of any payment by the buyer.
- 17 Prior to turnover and pool care instructions, it is the owner's responsibility to pay Pools By Design the final payment. If the final payment is not received, title to all the materials shall remain property or Pools By Design until said price is paid in full. Pools By Design shall have the right, without court order or suit, to enter the premises and repossess all or any part of said material if buyer fails to pay said price. Financing charges will accrue on any unpaid balances of purchase price at 1.5% per month (18% per year) commencing ten (10) days after completion. In addition, customer shall be responsible for reasonable attorney fees if Pools By Design is required to file suit to collect final payment after default by buyer. BALANCE OF PURCHASE PRICE MUST BE PAID WHEN INSTALLATION OF MATERIAL OR SERVICE IS COMPLETED AT TIME OF TURNOVER.
- 18 Notice is herby given by Pools by Delsgn's right to a mechanic's lien and foreclosure under New Mexico/Texas law should

it become necessary.

Accepted this _____ day of _____, 20_____

Customer: _____

Pools By Design: _____

**TOWN OF MESILLA
ZONING APPROVAL**

PERMISSION TO CONDUCT WORK
OR
OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT

OFFICIAL USE ONLY:
Case # 060943
Fee \$ 106.50

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 060943 ZONE: R-1 CODE: SP APPLICATION DATE: 7/30/19

Justin Bannister 575-649-3441
Name of Applicant/Owner Applicant's Telephone Number

2920 Camino Castillo Las Cruces NM 88005
Applicant's/Owner's Mailing Address City State Zip Code

justinban@gmail.com
Applicant's/Owner's E-mail Address

Tools By Design
Contractor's Name & Address (If none, indicate Self)

575-943-0901 Contractor's Telephone Number
Contractor's Tax ID Number Contractor's License Number

Address of Proposed Work: Swimming Pool - 2920 Camino Castillo

Description of Proposed Work: Construction of a swimming pool

\$64,000 Estimated Cost
[Signature] Signature of Applicant
July 26, 2019 Date

Signature of property owner if applicant is not the property owner: _____

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and BOT before issuance of a building permit. Recorded proof of ownership with legal description of property (deed or current tax bill) along with verification of legally subdivided status of the property are required. Plan sheets are to be no larger than 11 x 17 inches.

FOR OFFICIAL USE ONLY

PZHAC Administrative Approval Approved Date: _____ Disapproved Date: _____
 Disapproved Date: _____ Approved with Conditions

BOT Approved Date: _____
 Disapproved Date: _____
 Approved with Conditions

FIRE INSPECTION/APPROVAL REQUIRED: ___ YES NO ___ SEE CONDITIONS

CID PERMIT/INSPECTION REQUIRED: YES ___ NO ___ SEE CONDITIONS

CONDITIONS: PZHAC REVIEW & APPROVAL REQUIRED
CID PERMIT REQ'D
[Signature]

PERMISSION ISSUED/DENIED BY: _____ ISSUE DATE: _____

- This Application will include the following, if checked:
1. ___ Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was legally subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
 2. ___ Site Plan with dimensions and details.
 3. ___ Proof of legal access to the property.
 4. ___ Drainage plan.
 5. ___ Architectural style and color scheme – diagrams or elevations (Historical and commercial zones only).
 6. ___ Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
 7. ___ Other information as necessary or required by the City Code or Community Development:

PZHAC NEW BUSINESS

AUGUST 5, 2019

SUMMARY SUBDIVISION

PZHAC ACTION FORM
SUBDIVISION CASE 060940
SUMMARY SUBDIVISION
[PZHAC REVIEW – 8/5/19]
STAFF ANALYSIS

(Decision to be based on information presented during the Work Session – Item 3)

Item:

Case 060940 – 306 Capri Arc, submitted by Suzanne M. Brannan for Joseph W. Rogers; a request to discuss plans to eliminate a lot line between two parcels to create one residential parcel at this address. Zoned: Single Family Residential (R-1)

Staff Analysis:

The proposed work was discussed in the PZHAC Work Session held prior to this meeting. (Please refer to the information provided in the write-up for this item in the Work Session.)

If it is determined that the proposed lot line adjustment is acceptable to the Town as proposed, or if an alternate solution is arrived at, then the request can proceed on the assumption that all requirements of the Code will be satisfied. The PZHAC should continue on to approve the request based on the Findings stated below.

If, on the other hand, it is determined that the proposed lot line adjustment would not be acceptable to the Town, and no other solution can be reached, then the PZHAC should either postpone the request further until the applicant can return with a proposal that meets the standards set forth by the PZHAC; or the PZHAC should deny the request based on the request not meeting any or all of the Findings as listed.

Consistency with the Code:

The request appears to be consistent with Title 17 – Subdivisions of the Code, as well as Chapter 18.30 (R-1, Single Family Residential) of the Code. Additionally, the PZHAC will need to determine that the request meets all other development and application requirements of the Code.

The PZHAC will also need to determine that the request, as submitted, is consistent with the all other sections of the **Building and Zoning Codes** that may be applied to this project.

Findings:

- The PZHAC has jurisdiction to review and approve this request.
- The proposed work consists of the elimination of a lot line between lots in the R-1 zone in order to create a single lot.
- The PZHAC has determined that the proposed lot line adjustment meets all applicable Code requirements.

PZHAC OPTIONS:

1. Recommend approval of the requested lot line elimination to the BOT.
2. Recommend approval of the requested lot line elimination to the BOT with conditions.
3. Reject the permit.

PZHAC ACTION: