



**PZHAC WORK SESSION
AGENDA
MARC 4, 2019**

THE PLANNING, ZONING AND HISTORICAL APPROPRIATENESS COMMISSION (PZHAC) WILL HOLD A WORK SESSION, MONDAY, MARCH 4, 2019 AT 5:00 P.M. IN THE BOARD ROOM OF THE MESILLA TOWN HALL, 2231 AVENIDA DE MESILLA.

- Item 1:** Submitted by Ruben Contreras for Brittany Bloch (“Black Rat Tattoo”), a request to discuss plans to construct a small commercial building and a casita on a vacant property at the southwest corner of Calle de Correo and Avenida de Mesilla (address to be assigned). (**Case 060848**) Zoned: Historical Commercial (HC)
- Item 2:** Submitted by Daniel and Maxine Bustamantes, a request to discuss plans to construct a stuccoed concrete block wall on a residential property at 2590 Calle de Colon (**Case 060850**) Zoned: Historical Residential (HR)
- Item 3:** Submitted by Jorge Larrazabal; a request to discuss plans construct a 30 foot by 16 foot steel carport with a partially enclosed storage unit on a residential property at 2195 Calle del Norte. (**Case 060852**) Zoned: Historical Residential (HR)
- Item 4:** Submitted by Zach Penn; a request to discuss plans to construct a 75 foot by 50 foot metal and stucco storage building on a residential property at the north end of Cielo Grande Court (Lot 8). (**Case 060855**) Zoned: Rural Farm (RF)

**PZHAC REGULAR MEETING
AGENDA
MARCH 4, 2019**

THE PLANNING, ZONING AND HISTORICAL APPROPRIATENESS COMMISSION (PZHAC) WILL HOLD ITS REGULARLY SCHEDULED MEETING MONDAY, MARCH 4, 2019 AT 6:00 P.M. IN THE BOARD ROOM OF THE MESILLA TOWN HALL, 2231 AVENIDA DE MESILLA.

I. PLEDGE OF ALLEGIANCE

II. ROLL CALL AND DETERMINATION OF A QUORUM

III. CHANGES/APPROVAL OF THE AGENDA

IV. *ACCEPTANCE OF THE CONSENT AGENDA

Note: Items on the agenda indicated by an asterisk () are on the consent agenda and will be voted on with one motion unless a Commissioner requests that a specific item be removed for discussion.*

A. *PZHAC MINUTES – Meeting minutes of January 22, 2019.

B. *ADMINISTRATIVE APPROVAL

Zoning Permits

- 1. Case 060851** – 217 Capri Road, submitted by Arlene and Matthew Watson; a request for a zoning permit to reroof a dwelling at this address. Zoned: Residential, Single Family (R-1)
- 2. Case 060853** – 2043 Calle de Correo, submitted by Alison Tinsley; a request for a zoning permit to patch leaks in a roof at the back of dwelling at this address. Zoned: Historical Residential (HR)
- 3. Case 060854** – 2825 Teresita Street, submitted by Larry and Michel Lytle; a request for a zoning permit to reroof a dwelling at this address. Zoned: Historical Residential (HR)
- 4. Case 060857** – 2168 Calle de los Huertos, submitted by Geronimo Garcia; a request for a zoning permit to allow the repair of an adobe wall on the corner of a dwelling at this address. Zoned: Historical Residential (HR)

V. PZHAC NEW BUSINESS:

A. PUBLIC INPUT ON CASES

B. CASES:

Zoning Permits

1. **Case 060848** – Southwest corner of Calle de Correo and Avenida de Mesilla, submitted by Ruben Contreras for Brittany Bloch (“Black Rat Tattoo”), a request for a zoning permit to construct a small commercial building and a casita on a vacant property at this location. Zoned: Historical Commercial (HC) **This case was heard during the Work Session – Item 1)**
2. **Case 060850** – 2590 Calle de Colon, submitted by Daniel and Maxine Bustamantes; a request for a zoning permit to allow a stuccoed cinder block wall to be constructed at this address. Zoned: Historical Residential (HR) **(This case was heard during the Work Session – Item 2)**
3. **Case 060852** – 2195 Calle del Norte, submitted by Jorge Larrazabal; a request for a zoning permit to allow the construction of a 30 foot by 16 foot steel carport with a partially enclosed storage unit on this property. Zoned: Historical Residential (HR) **(This case was heard during the Work Session – Item 3)**
4. **Case 060855** - Cielo Grande Court (Lot 8), submitted by Zach Penn; a request for a zoning permit to allow the construction of a 75 foot by 50 foot metal and stucco storage building on a residential property at this location. Zoned: Rural Farm (RF) **(This case was heard during the Work Session – Item 4)**
5. **Case 080656** – 2755 Boldt Street, submitted by Daniel J Jones and Teresa Griffith; a request for a zoning permit to allow the repainting of the trim on a dwelling at this address. Zoned: Historical Residential (HR)

Business Registrations

6. **Permit 0766** – 2305 Calle de Colon, submitted by Gerard Nevarez; a request for a business license to allow the applicant to operate a Human Resources (HR/EEO) consulting business (“JerryCo Services”) as a home occupation at this address. Zoned: Historical Residential (HR).

VI. PUBLIC COMMENTS

VII. PZHAC/STAFF COMMENTS

VIII. ADJOURNMENT

NOTICE

If you need an accommodation for a disability to enable you to fully participate in the hearing or meeting, please contact us at 524-3262 at least 48 hours prior to the meeting.

Posted on 2/28/19 at the following locations: Town Hall - 2231 Avenida de Mesilla; Public Safety Building - 2670 Calle de Parian; Mesilla Community Center - 2251 Calle de Santiago; Shorty’s Food Mart - 2290 Avenida de Mesilla; Ristramn Chile Co. - 2531 Avenida de Mesilla and the U.S. Post Office - 2253 Calle de Parian.

PZHAC NEW BUSINESS

MARCH 4, 2019

WORK SESSION

**PZHAC WORK SESSION
MARCH 4, 2019
ITEM 1**

Submitted by Ruben Contreras for Brittany Bloch (“Black Rat Tattoo”), a request to discuss plans to construct a small commercial building and a casita on a vacant property at the southwest corner of Calle de Correo and Avenida de Mesilla (address to be assigned). (Case 060848, Bus. Permit 0764) Zoned: Historical Commercial (HC)

This case was heard at the February 19 PZHAC Work Session and postponed in order to allow the applicant to return to the PZHAC with revised elevations of the structure. The applicant will present the new drawings at this Work Session. (The following is information that was presented to the PZHAC at the previous Work Session.)

The property, which is 0.24 acres (10454 square feet) in size, is currently vacant, and is being used as a parking lot for parking at Caballero’s Shopping area across Avenida de Mesilla. The applicant has been informed by Staff that water and sewer service would have to be provided to the property in order to develop the property. Staff has not yet seen proof that either utility is available to the property. Access to the property will be from Calle de Correo. The buildings will be located on the Avenida de Mesilla side of the property. The western half of the property will be used for parking.

Attached is a site plan of the property, along with an elevation and floor plans for the buildings. According to the applicant, the style and color of the buildings will be the same, and will be similar to the other historic structures in the area. According to the applicant, the style of the structure will be “Spanish Pueblo”, and is intended to fit in with the styles of other commercial structures along Avenida de Mesilla. (See photos of nearby commercial and residential structures.)

The size of the casita will be about 560 -600 square feet. The applicant intends to rent the casita as a short term rental. According to the applicant, “The residential portion of the site will house a studio residence with a living area, kitchenette, sleeping area and bathroom. The intent of the air b&b is partially to have a place for out-of-town clients to stay when scheduled for a tattoo. The air b&b will also provide accommodate tourists and contribute to the overall economy of Mesilla.”

The commercial building will be about 800 – 900 square feet and about 16 feet tall. The applicant proposes to use the commercial building to house “...“Black Rat Tattoo,” a well established professional business in the City of Las Cruces. The space will serve 1 to 2 artists.” A tattoo parlor (“Muerte Tattoo at 2309 Calle de Guadalupe, Suite B) has been an allowed use in the past in the HC zone as a “Professional Office” (Similar uses that have been allowed are “Kneading to Heal” at 2222 Avenida de Mesilla, and “Desert Mountain Acupuncture” at 2488 Calle de Guadalupe.) However, since the building is in the HC zone and many commercial uses are allowed by right in a commercial building, the use of the PZHAC should not grant or deny the construction of this building based solely on the use being proposed at this time. There are other uses that could possibly use the building in the future.

The PZHAC will need to determine that the proposed buildings will be architecturally compatible with the other commercial and residential structures in the area. This includes height, size (proportion) and style. Other commercial operations along Avenida de Mesilla have heights that are or appear to be several feet lower (Ristramann, Adventure Travel) to two stories (Steinborn Realty).

Some of the commercial operations along Avenida de Mesilla are: Steinborn Realty and two short term rentals, Caballero’s Plaza, and Ristramann (across Avenida de Mesilla); Palacio’s Bar, a dancehall and bar operation that has been at this location since 1936; Chala’s Wood Fired Restaurant; and Mesilla Valley Plumbing (along the west side of Avenida de Mesilla to the south) and Kneading to Heal (along the west side of Avenida de Mesilla to the north).

Compliance with the Code:

Since this construction is in a Historic zoning district, the PZHAC will need to ensure that the following sections of the Code are met:

18.33.060 Development zone.

A development zone defines the immediate physical vicinity to be used to identify the historic character of a particular area and includes the predominant architectural style and design standards of existing structures together with their setting.

Additionally, the tattoo parlor (and similar uses) have been allowed in the past by the following sections of the Code:

18.33.080 Historical appropriateness permit.

A. Identification. A permit for a certificate of historical appropriateness shall be required before any of the following actions or work is undertaken: new construction, exterior alteration, demolition or removal. All work or acts of new construction or exterior alteration requiring a permit for a certificate of appropriateness shall comply with the design criteria established by the precedent styles within the development zone of the proposed work.

18.40.020 Uses permitted.

Uses permitted in the H-C zone are as follows:

Commercial uses allowed in C zone and residential uses subject to approval of the planning, zoning and historical appropriateness commission upon application and approval of a development plan. [Ord. 2001-04 § 1; Ord. 94-06 § 1; prior code § 11-2-11.5.B]

18.45.020 Uses permitted (C Zone)

A building and premises on any lot in the C zone shall be used for the following purposes only:

Office, business and professional

The applicant or her representative will be present at the work session to provide further details about the proposed construction, and will be available to answer any questions that may arise.

PHOTO OF THE SUBJECT PROPERTY LOOKING SOUTH FROM CALLE DE CORREO



Doña Ana County, NM

General Reference Maps

2014 Aerial

Addresses

County Address Points

Maps

Legend

Map Themes

Parcels

UDC Zoning

Roads and Transportation

NM House Districts

NM Senate Districts

County Commission Districts

City Council Districts

Median Household Income

General Land Ownership

Account Number: [R0400376](#)

Parcel Number: 4006137296464

Owner: BLACK RAT TATTOO LLC

Mail Address: 439 LINDA VISTA RD

Subdivision:

Property Address: CALLE DE

CORREO

Acres: 0.23999082



PHOTO OF THE STEINBORN REALTY PROPERTY FROM SUBJECT PROPERTY



PHOTO OF RISTRAMN FROM SUBJECT PROPERTY



PHOTO OF PALACIOS BAR FROM SUBJECT PROPERTY



PHOTO OF PALACIOS BAR FROM THE SOUTH



PHOTO OF MESILLA VALLEY PLUMBING



PHOTO OF CHALAS RESTAURANT



PHOTO OF CABALLERO'S PLAZA



PHOTO OF NEARBY RESIDENTIAL RENTAL UNIT



TOWN OF MESILLA
 PERMISSION TO CONDUCT WORK
 OR

OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT

OFFICIAL USE ONLY:

Case # 060848

Fee \$ 217.50

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 060848 ZONE: H-C CODE: _____ APPLICATION DATE: 02/12/2019

Brittany Bloch 575-526-1590

Name of Applicant/Owner Applicant's Telephone Number

439 Linda Vista Road Las Cruces NM 88005

Applicant's/Owner's Mailing Address City State Zip Code

freyja2012@zoho.com

Applicant's/Owner's E-mail Address

RES Construction, Inc. (Ronald Scott) 2000 Bellamah, Las Cruces, NM 88001

Contractor's Name & Address (If none, indicate Self)

575 - 649 - 5425 GB98 License # 395391

Contractor's Telephone Number Contractor's Tax ID Number Contractor's License Number

Address of Proposed Work: Intersection of Calle De Correo and Avenida de Meilla

Description of Proposed Work: The new 1,375 s.f. development is intended to house both a profes-
sional business and a residential (Air B&B studio) on a single parcel zoned as historic com-
mmercial.

\$137,500 02/12/2019

Estimated Cost Signature of Applicant Date

Signature of property owner if applicant is not the property owner: _____

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and BOT before issuance of a building permit. Recorded proof of ownership with legal description of property (deed or current tax bill) along with verification of legally subdivided status of the property are required. Plan sheets are to be no larger than 11 x 17 inches.

FOR OFFICIAL USE ONLY

PZHAC Administrative Approval BOT Approved Date: _____

Approved Date: _____ Disapproved Date: _____

Disapproved Date: _____ Approved with Conditions

Approved with conditions

FIRE INSPECTION/APPROVAL REQUIRED: ___ YES ___ NO SEE CONDITIONS

CID PERMIT/INSPECTION REQUIRED: YES ___ NO ___ SEE CONDITIONS

CONDITIONS: PZHAC REVIEW & BOT FINAL APPROVAL REQUIRED

PERMISSION ISSUED/DENIED BY: _____ ISSUE DATE: _____

This Application will include the following, if checked:

1. ___ Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was **legally** subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
2. ___ Site Plan with dimensions and details.
3. ___ Proof of legal access to the property.
4. ___ Drainage plan.
5. ___ Architectural style and color scheme – diagrams or elevations (Historical and commercial zones only).
6. ___ Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
7. ___ Other information as necessary or required by the City Code or Community Development:

**PZHAC WORK SESSION
MARCH 4, 2019
ITEM 2**

Submitted by Daniel and Maxine Bustamantes, a request to discuss plans to construct a stuccoed concrete block wall on a residential property at 2590 Calle de Colon (**Case 060850**) Zoned: Historical Residential (HR)

DESCRIPTION OF REQUEST:

The applicant would like to construct the wall around part of the front of the property in order to provide an area for a pet dog (see attached site plan). The wall will be made of concrete blocks covered with stucco and painted to match the dwelling. The two sections (one across the part of south portion of the property and the other across part of the west portion) will be anchored to the walls of the dwelling. The wall will be 5 feet 8 inches high with a gate. The applicant has provided photos (attached) that show the proposed style of the wall and gate.

The wall will enclose a small piece of the property formed by two parts of the dwelling (see site plan) and will not run along any property lines, nor will it affect any clear-sight-triangles. The applicant will be present to describe exactly how the walls will be combined with the existing walls of the dwelling to provide a visual uniformity.

The property contains two dwellings. The main dwelling is not in the Historical Register and appears to have been built after 1980. (There are no construction records on file.) The accessory dwelling was approved by the Town and built in 2002. Both dwellings appear to be similar to dwellings in the surrounding area.

CONSISTENCY WITH THE CODE:

The PZHAC will need to determine that the proposed wall will be compatible with the historical aspect of the surrounding area, and will be consistent with the following section of the Code:

Chapter 18.35 HR – Historical Residential Zone

The proposed wall could be compatible with the HR zoning of the property if it is completed and painted to match the rest of the dwelling.

The applicant will be present at the work session to provide further details about the proposed construction of the walls and shed, and will be available to answer any questions that may arise.

PHOTO OF PROPERTY FROM CALLE DE COLON SHOWING AREA TO BE ENCLOSED



Doña Ana County, NM

General Reference Maps

2014 Aerial

Addresses

County Address Points

Maps

Legend

Map Themes

Parcels

UDC Zoning

Roads and Transportation

NM House Districts

NM Senate Districts

County Commission Districts

City Council Districts

Median Household Income

General Land Ownership

Account Number: [R0400475](#)

Parcel Number: 4006138125077

Owner: GALLEGOS PAUL GIL

Mail Address: PO BOX 844

Subdivision:

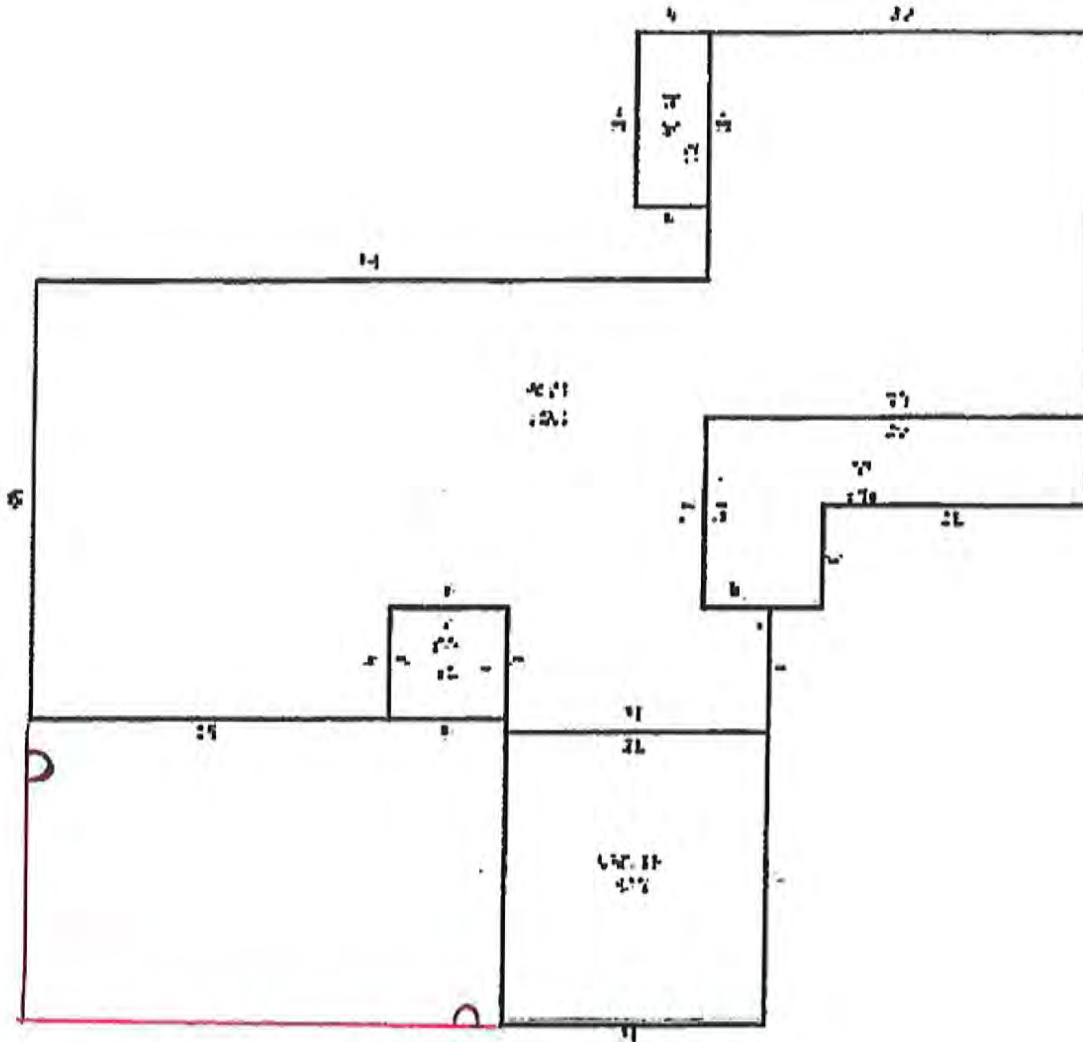
Property Address: 2590 CALLE DE

COLON

Acres: 0.41999541



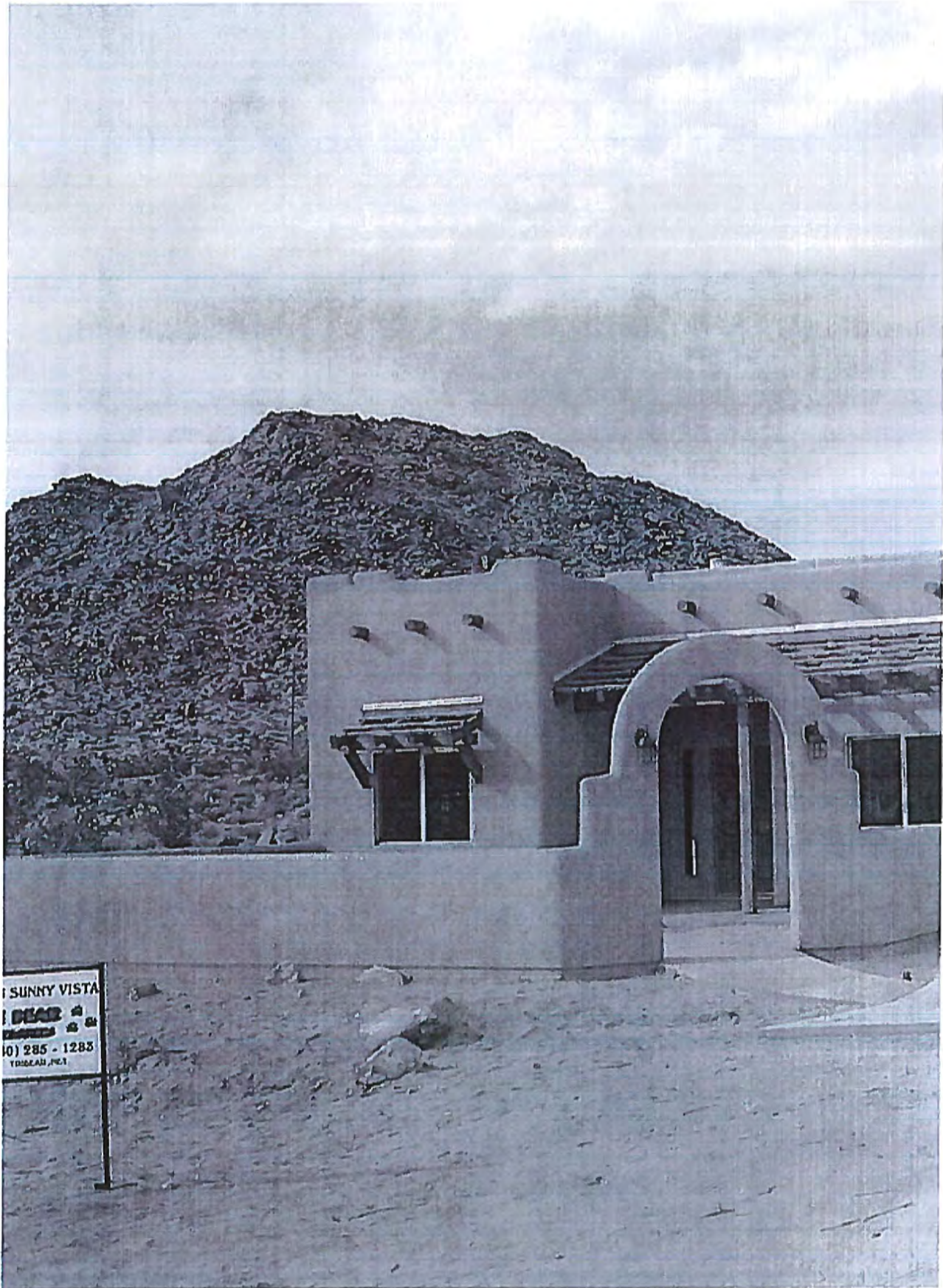
Back of 2590 Calle De Colon

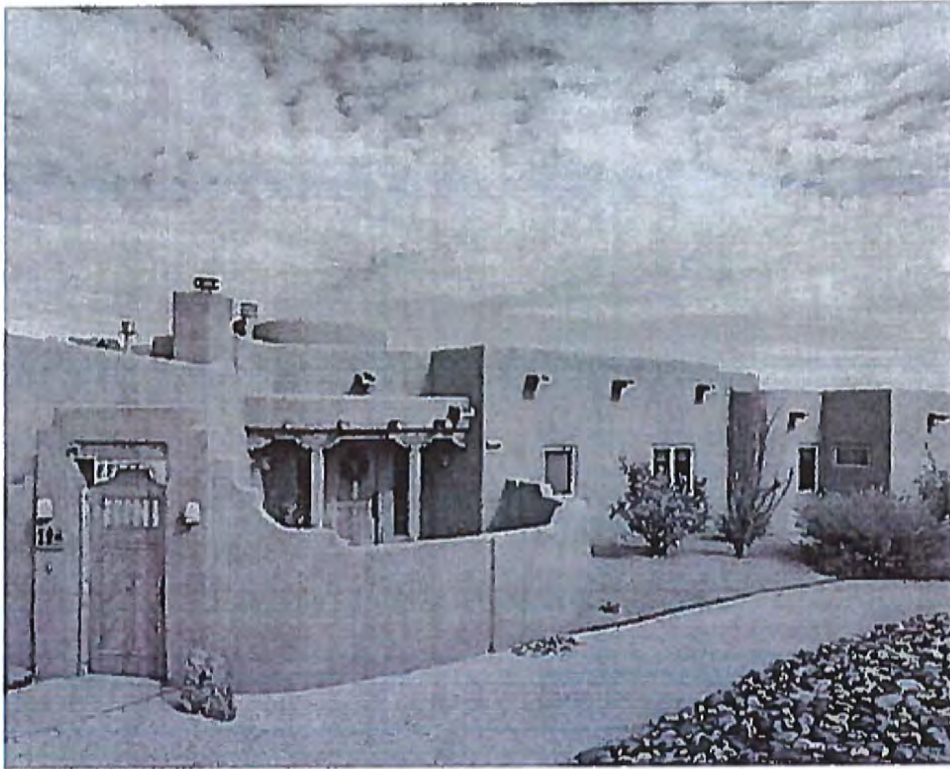


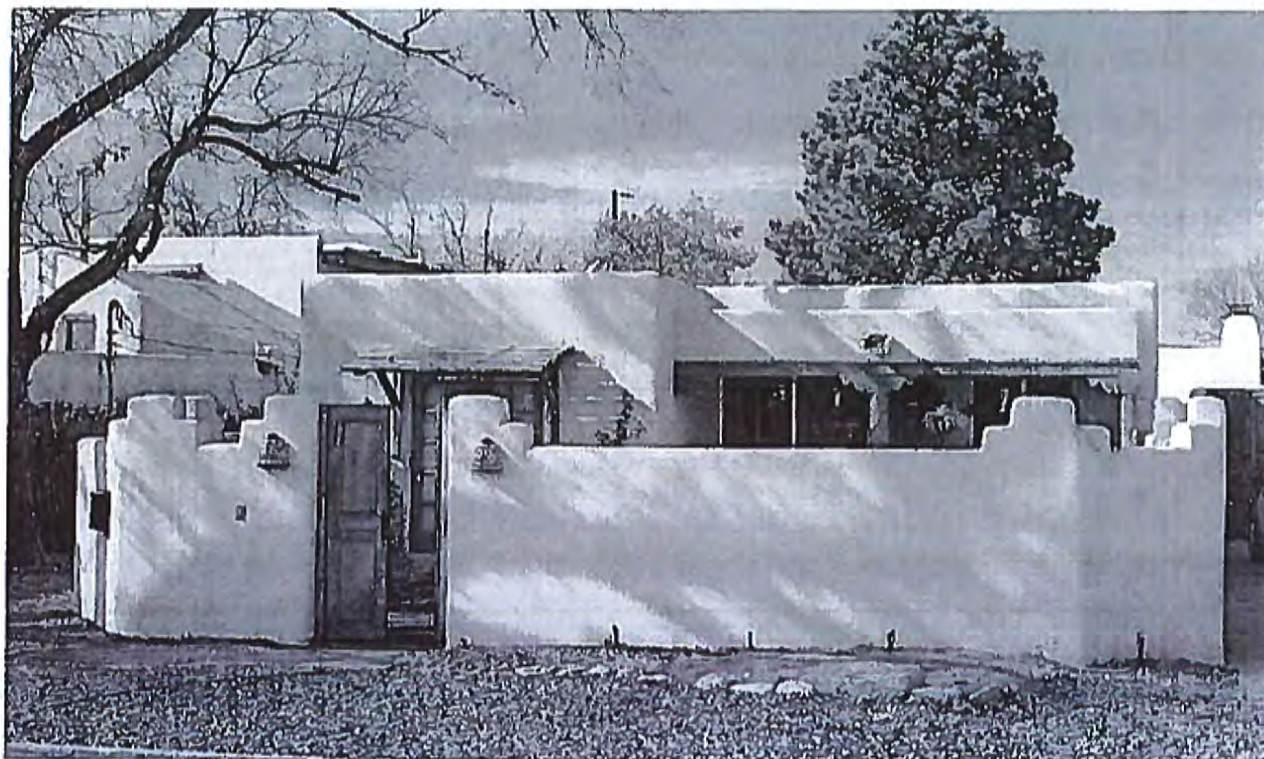
Southwest Style brick wall stucco and painted the same color of the house.

5 feet high and 8 inches in width with a gate/door.

Front of 2590 Calle De Colon







TOWN OF MESILLA
PERMISSION TO CONDUCT WORK
OR

OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT

OFFICIAL USE ONLY:

Case # 260850
 Fee \$ 110.00

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 260850 ZONE: R2 CODE: 41 APPLICATION DATE: 2/5/19

Daniel & Maxine Bustamantes 575-635-1549 /575-650-8843
 Name of Applicant/Owner Applicant's Telephone Number
 2590 Calle De Colon Mesilla NM 88046
 Applicant's/Owner's Mailing Address City State Zip Code
 nivemb@gmail.com
 Applicant's/Owner's E-mail Address
 Self
 Contractor's Name & Address (if none, indicate Self)

Contractor's Telephone Number Contractor's Tax ID Number Contractor's License Number

Address of Proposed Work: 2590 Calle De Colon

Description of Proposed Work: Southwest Style cinder block wall stucco and painted the same color of the house.

\$ 6,000  02-05-2019
 Estimated Cost Signature of Applicant Date

Signature of property owner if applicant is not the property owner: n/a

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and BOT before issuance of a building permit. Recorded proof of ownership with legal description of property (deed or current tax bill) along with verification of legally subdivided status of the property are required. Plan sheets are to be no larger than 11 x 17 inches.

FOR OFFICIAL USE ONLY

PZHAC Administrative Approval BOT Approved Date: _____
 Approved Date: _____ Disapproved Date: _____
 Disapproved Date: _____ Approved with Conditions
 Approved with conditions

FIRE INSPECTION/APPROVAL REQUIRED YES NO SEE CONDITIONS

CID PERMIT/INSPECTION REQUIRED YES NO SEE CONDITIONS

CONDITIONS: PZHAC REVIEW + BOT FINAL APPROVAL REQUIRED

PERMISSION ISSUED/DENIED BY: _____ ISSUE DATE: _____

- This Application will include the following, if checked:
1. _____ Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was legally subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
 2. _____ Site Plan with dimensions and details.
 3. xx _____ Proof of legal access to the property.
 4. _____ Drainage plan.
 5. xx _____ Architectural style and color scheme – diagrams or elevations (Historical and commercial zones only).
 6. _____ Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
 7. _____ Other information as necessary or required by the City Code or Community Development:

**PZHAC WORK SESSION
MARCH 4, 2019
ITEM 3**

Submitted by Jorge Larrazabal; a request to discuss plans construct a 30 foot by 16 foot steel carport with a partially enclosed storage unit on a residential property at 2195 Calle del Norte. (Case 060852) Zoned: Historical Residential (HR)

DESCRIPTION OF REQUEST:

The applicant would like to construct a 4800 square foot semi-enclosed carport and storage structure on a property containing a site built dwelling. The proposed structure will have a slightly pitched roof. According to the applicant, the structure will not be attached to the dwelling (see site attached plan). The structure will be finished to match the color of the existing dwelling.

The applicant has been informed that, if approved, the storage/carport structure will need to be either connected to the main dwelling or be located at least ten feet from the dwelling. The structure will be located near the northwest corner of the property (see site plan). The HR zoning of the property allows minimum side setbacks of three feet.

The dwelling does appear in the Historical Register and was considered to be architecturally contributing to its surroundings, even though substantial additions and alterations to the structure had taken place in the fifteen years prior to the dwelling being included in the application for the Historic Register. (According to the Register, the original structure was built around 1880.) Further additions and alterations to the dwelling were approved by the Town in 2001 with the result that the footprint and appearance of the dwelling was substantially changed from that which was described in the Historical Register (see attached site plan showing 2001 changes approved by Town). Although the exterior of the dwelling was substantially changed, the flat roof was still retained. Additionally, a ponding area for the property added in 2001 may need to be relocated in order to accommodate the proposed structure (see site plan from 2001).

CONSISTENCY WITH THE CODE:

The PZHAC will need to determine that the proposed wall will be compatible with the historical aspect of the surrounding area, and will be consistent with the following section of the Code:

Chapter 18.35 HR – Historical Residential Zone

The proposed wall could be compatible with the HR zoning of the property if it is completed and painted to match the rest of the dwelling.

The applicant will be present at the work session to provide further details about the proposed construction of the walls and shed, and will be available to answer any questions that may arise.

PHOTO OF PROPERTY FROM CALLE DE ARROYO SHOWING PROPOSED LOCATION OF SEMI-ENCLOSED CARPORT/STORAGE BUILDING



Doña Ana County, NM

General Reference Maps

2014 Aerial

Addresses

County Address Points

Maps

Legend

Map Themes

Parcels

UDC Zoning

Roads and Transportation

NM House Districts

NM Senate Districts

County Commission Districts

City Council Districts

Median Household Income

General Land Ownership

Account Number: [R0400222](#)

Parcel Number: 4006137149393

Owner: ESDERS PATRICK & DORIS O'BRIEN

Mail Address: 215 E 80TH ST APT 10L

Subdivision:

Property Address: 2195 CALLE DEL NORTE

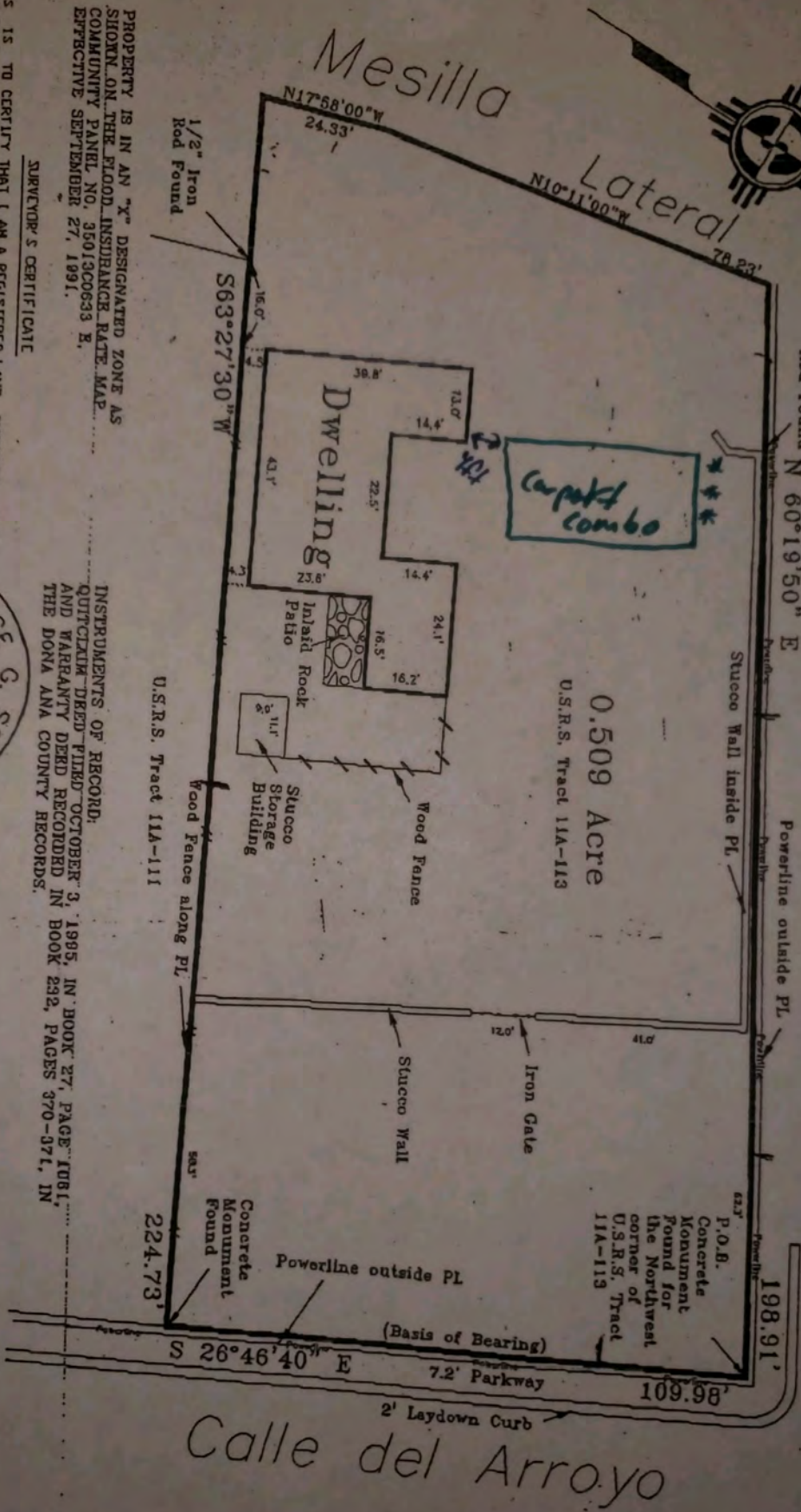
Acres: 0.43999082



PLAT OF SURVEY

A 0.509 ACRE TRACT
 LOCATED IN SECTION 25, T.23S., R.1E., N.M.P.M.
 OF THE U.S.R.S. SURVEYS, BEING U.S.R.S. TRACT 11A-113
 TOWN OF MESILLA, DONA ANA COUNTY, NEW MEXICO

Calle del Norte



PROPERTY IS IN AN "X" DESIGNATED ZONE AS SHOWN ON THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 35013C0633 E, EFFECTIVE SEPTEMBER 27, 1991.

SURVEYOR'S CERTIFICATE

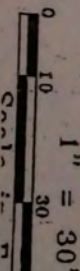
I, S. T. SCANLON, DO HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR, THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MADE BY ME OR UNDER MY DIRECTION AND THAT IT IS TRUE AND CORRECT, GIVING THE HIGHEST REQUIREMENTS OF THE STANDARDS FOR LAND SURVEYS IN NEW MEXICO AS ADOPTED BY THE NEW MEXICO STATE BOARD OF SURVEYORS FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS, TO THE BEST OF MY KNOWLEDGE AND BELIEF.

INSTRUMENTS OF RECORD:
 QUICQUIN DEED FILED OCTOBER 3, 1895, IN BOOK 27, PAGE 1081,
 AND WARRANTY DEED RECORDED IN BOOK 232, PAGES 370-371, IN
 THE DONA ANA COUNTY RECORDS.



JUNE 26, 2007
 T. G. SCANLON

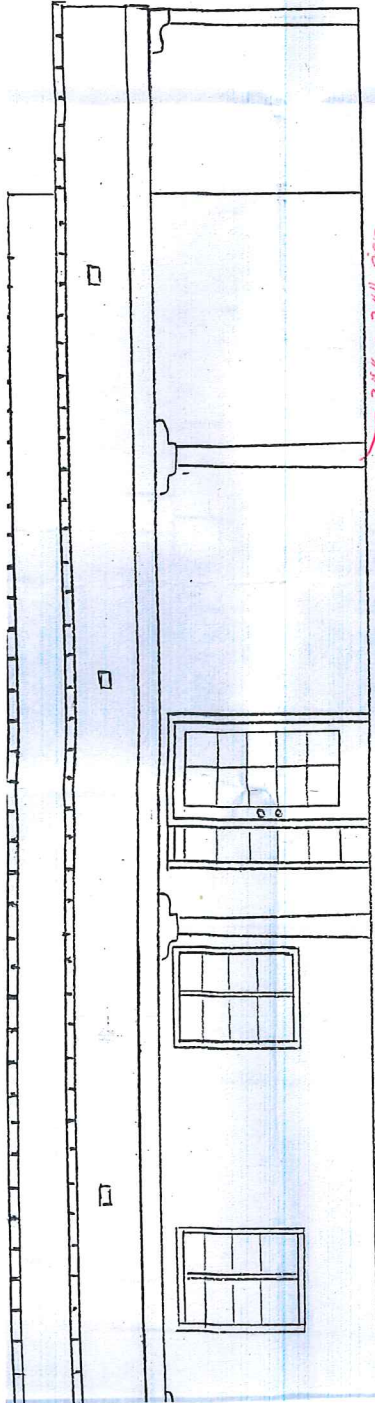
TED G. SCANLON - P.S. NO. 9433
 540 N. WATER STREET, LAS CRUCES, N.M.



scanlon white inc.
 3790 FOOTHILLS STE C
 Las Cruces, New Mexico 88011
 Phone: (505) 525-2119

DRAWN BY	BRADY
REVISOR	ROB & JAMES
JOB NO.	90-0336
DATE	JUNE 26, 2007

ZOOI PLANS

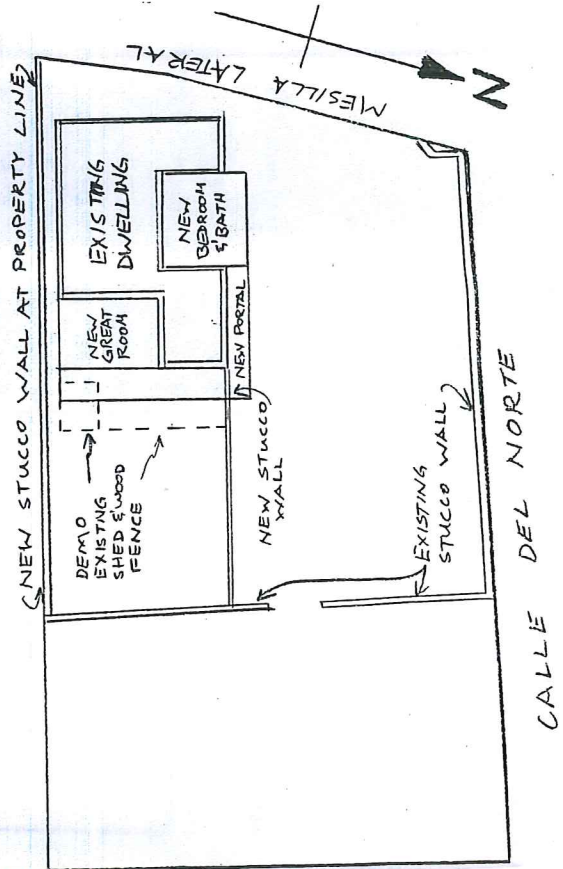


NEW SIDE ELEVATION (EAST)

LM
R

TYPICAL ADDITION CROSS

SITE PLAN 1" = 30'



ROOF AND SITE DRAINAGE 1" = 30'

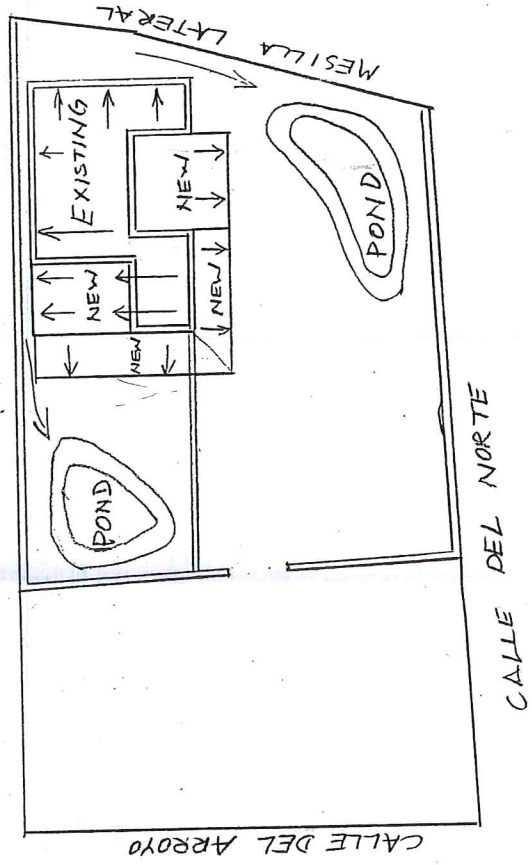




Image capture: Aug 2015 © 2019 Google

Las Cruces, New Mexico

Google

Street View - Aug 2015



Imagery ©2019 Google, Map data ©2019 Google 50 ft

ALERT SHEET?

YES NO

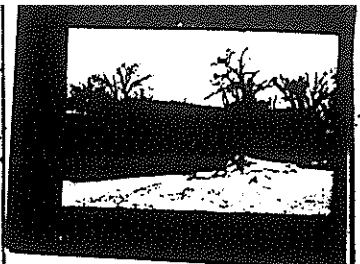
NEW MEXICO HISTORIC BUILDING INVENTORY
FORM 1: BUILDINGS & STRUCTURES 6-6 79

SURVEY DATE: 4/80 BY: MBT
CHECK DATE: 4. DATE 5. BY
COMPUTER DATE: 6. DATE 7. BY
FILE DATE: 8. DATE 9. BY
REVISION DATE: 10. DATE 11. BY

COUNTY: Valencia
13. FIELD MAP NUMBER
14. NUMBER
15. UTM REFERENCE NUMBER
ZONE: 18 EASTING: 320750 NORTHING: 3572150

SPECIFIC LOCATION: 2195 C. Norte
the SW corner of Calle del Norte
& Calle del Arroyo.
10' east of the Acequia Madre.

17. CITY/TOWN: Merida 18. ZIP
19. LAND GRANT OR RESERVATION: Merida Civil Colony



20. I.D. #: 183202240
22. ROLL #: 41 23. NEG #: 31, 33
24. LOCATION OF NEG.

LEGAL DESCRIPTION: TOWNSHIP NS RANGE EW SECTION 1/4 1/4 1/4

ARCHITECTURAL STYLE: critterialish / adobe vernacular
26. NUMBER OF STORIES: 1
Larry + Viola Talaya
Box 509
MESILLA NM 88046

FOUNDATION MATERIAL(S): some parts (new) have concrete foundation

EXTERIOR WALL SURFACE(S): exposed adobe
4006-137-149-393

FENESTRATION (TYPE, DIVISIONS, SURROUNDS, SILLS, ARRANGEMENTS)
wood casement windows, double leafs, 3 lites per leaf, concrete lug sills, milled beam lintels, no surrounds
wood casement windows, double leaf, 6 lites per leaf, milled beam lintel, no surrounds

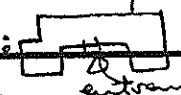
DOOR/ENTRANCE (TYPE/SURROUNDS): Double leaf door, large lites in upper portion (apaque), horiz
ing in lower portion. Massive milled beam lintel extends over doorway and the windows on
in side.

ROOF(S) (NUMBER/SHAPE/MATERIAL, DETAILS): Flat with single course brick coping on
slopes.

CHIMNEY(S) (NUMBER, EXTERIOR-INTERIOR, MATERIALS): 1 exterior brick

EXTERIOR DETAILS: Viga ends visible on many walls. / Ornamental iron grill work
the windows on each side of main entrance.

COMMENTS: House greatly remodeled within the last 15 years, but done in a very way so
original structure was built on top. Now has a floor plan something like this:



DATE OF CONSTRUCTION: original walls 1880
36. ACTUAL SOURCE OF DATE

ARCHITECT/ENGINEER/BUILDER

SOURCE OF INFORMATION

NAME: Bill Shaw, owner

1. PRESENT: residential
2. HISTORIC: "

CONDITION: GOOD FAIR DETERIORATED

DEGREE OF REMODELING

3. SEVERITY: MODERATE MAJOR

45. IMMEDIATE SURROUNDINGS: residential, farm land, ditches

46. RELATION TO SURROUNDINGS: SIMILAR NOT SIMILAR

47. ARCHITECTURAL CONTRIBUTION TO SURROUNDINGS: PLUS NEUTRAL MINUS

48. OVERALL SIGNIFICANCE: NATIONAL STATE LOCAL NONE

49. ASSOCIATED BUILDINGS?: YES NO

50. WHAT TYPE?: storage room apart from house
on the SE side - exposed adobe, flat roof.

51. IF INVENTORIED, LIST I.D. #S

52. SEE BACK?: YES NO



- 233 This small, stuccoed house has a gabled roof and metal casement windows. A flat roofed, concrete block addition is on the west side. est. 1960. (N)
- 234 This is a large "U" shaped residence with hip roofs, metal casement windows and stuccoed exterior walls. est. 1950. (N)
- 235 This is a long, rectangular-plan house, stuccoed, it has a gabled roof covered by asphalt shingles and aluminum frame windows. est. 1945. (N)
- 236 This small, square-plan house with metal casement windows has a flat roof, and stuccoed exterior walls. est. 1960. (N)
- 237 This is a stuccoed residence covered by a gabled roof, and it has metal casement windows. est. 1960. (N)
- 238 A flat roofed, stuccoed house with a parapet, this residence has wood and aluminum frame windows. est. 1930. (C)
- 239 This large, stuccoed residence covered by a low hipped roof has aluminum frame windows. It is located on a large lot. est. 1955. (N)
- 240 According to the owner, this house belonged to Pablo Maese in the early 1900's. He had a vinyard and winery here. This residence is in the shape of a "U". Within the last fifteen years quite a few additions and alterations have taken place, but all are done in a manner which does not detract from the original rooms which occupy the western part of the building. The walls are of unplastered adobe, the roof is flat with a parapet capped by a brick coping. The windows are wood casement, and massive wood lintels span the doors and windows. est. 1880. (C)
- 241 This is a stuccoed adobe residence of an irregular floor pattern. It has a flat roof with parapet, wood frame windows, and an enclosed back porch that faces the street. est. 1890. (C)
- 242 This property had been in the Aurelia Lopez family in the early 1900's according to the deed. The house has recently been remodeled with a gabled roof, aluminum sash windows, and new stuccoe. The core of the house probably dates to the 1870's. (C)
- 243 A deteriorating adobe structure, this used to be a large residence and is now vacant. Many of the walls have serious coving occurring or have already fallen in. No fenestration is visible; however, hand hewn beams are evident. All walls are of unplastered adobe. The roof is flat and

Eagle Carports

"Flying High with Great Deals"



STRUCTURAL DESIGN

STANDARD PACKAGE

PARTIALLY ENCLOSED

(UTILITY) BUILDING

MAXIMUM 30'- 0" WIDE X 16'- 0" HEIGHT-
BOX EAVE FRAME AND BOW FRAME

11 November 2016
Revision 1
M&A Project No. 16166S

Prepared for:

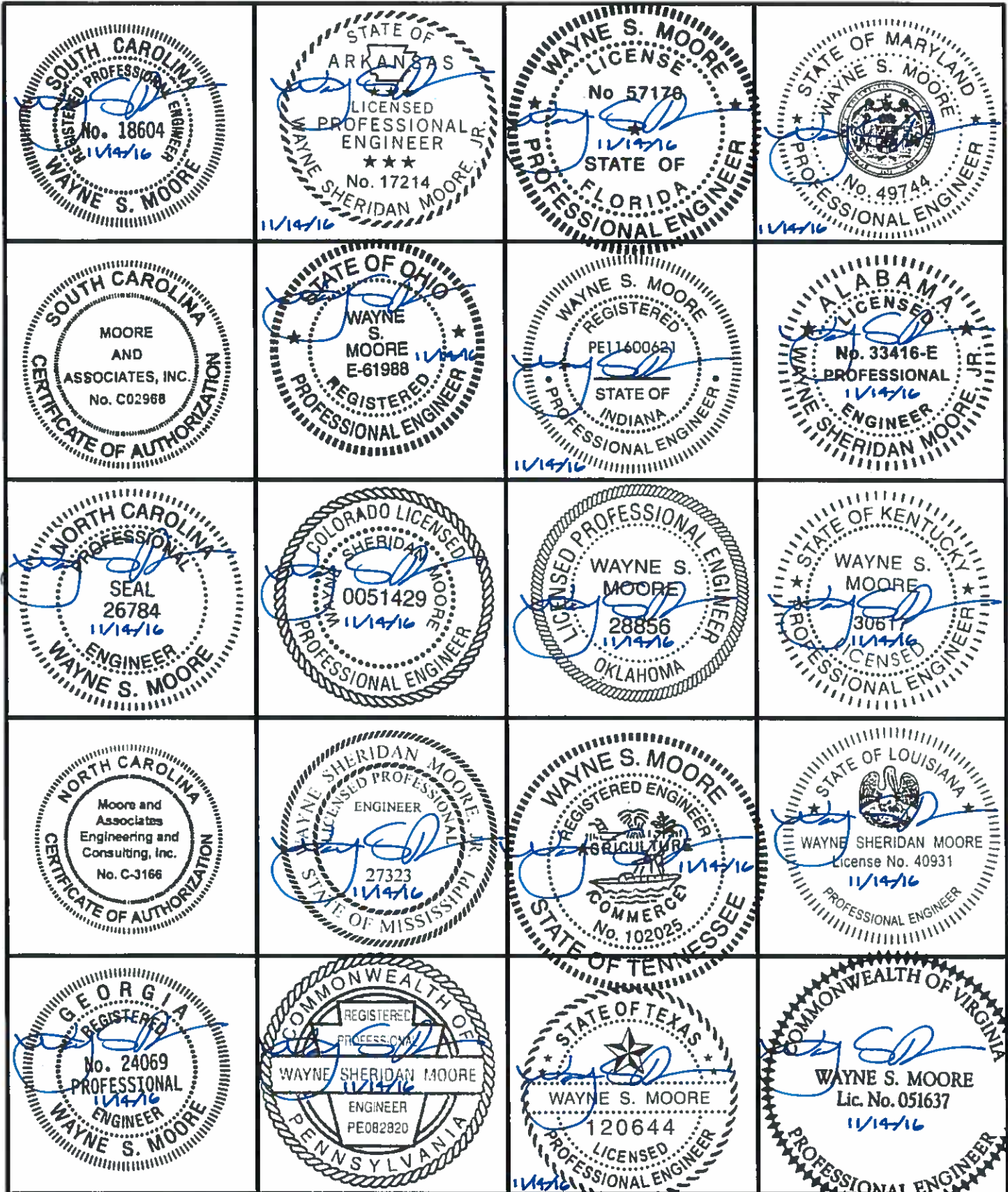
Eagle Carports
210 Airport Road
Mount Airy, NC 27030

Prepared by:

Moore and Associates Engineering and Consulting, Inc.
1009 East Avenue
North Augusta, SC 29841



MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING



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DRAWN BY: LT

CHECKED BY: PDH

PROJECT MGR: VSM

CLIENT: -

EAGLE CARPORT
30'x16' SP UTILITY BUILDING
PE SEAL COVER SHEET

DATE: 11-11-16

SHT. 1

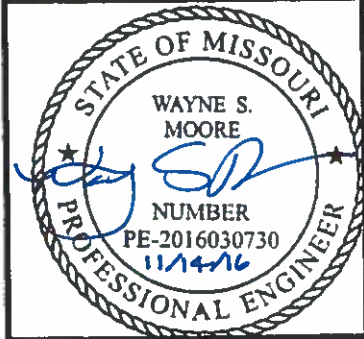
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DWG. NO: SK-2

JOB NO: 16166S

REV: 1

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CLIENT: -

**EAGLE CARPORTS
30'x16' SP UTILITY BUILDING
PE SEAL COVER SHEET**

DATE: 11-11-16

SCALE: NTS

JOB NO: 161665

SHT. 1

DWG. NO: SK-2

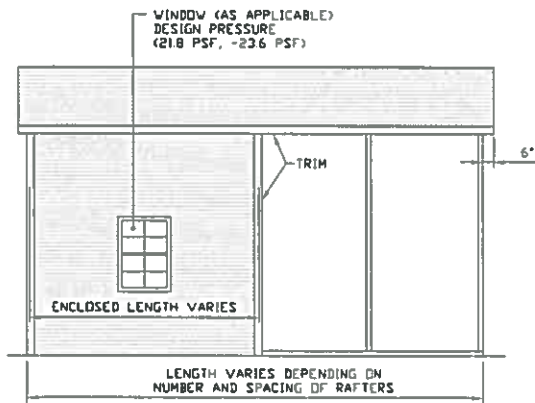
REV. 1

DRAWING INDEX

SHEET 1	PE SEAL COVER SHEET
SHEET 2	DRAWING INDEX
SHEET 3	INSTALLATION NOTES AND SPECIFICATIONS AND TYPICAL SIDE AND END ELEVATIONS
SHEET 4	TYPICAL RAFTER/COLUMN END AND SIDE FRAMING SECTION (BOX EAVE RAFTER)
SHEET 5A	COLUMN CONNECTION DETAILS (BOX EAVE STRUCTURE)
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SHEET 14	LEAN-TO OPTIONS (BOW RAFTER)
SHEET 15	VERTICAL ROOF OPTION END AND SIDE ELEVATION AND SECTION

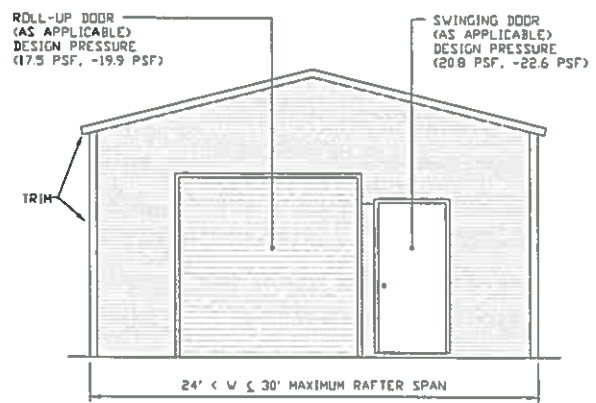
MOORE AND ASSOCIATES ENGINEERING AND CONSULTING, INC.	DRAWN BY: LT	EAGLE CARPORTS 210 AIRPORT ROAD MOUNT AIRY, NC 27030 30'x16' SP UTILITY BUILDING		
	CHECKED BY: PDH	PROJECT MGR: WSH	DATE: 11-11-16	SCALE: NTS
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BOX EAVE FRAME RAFTER STRUCTURE (Sheets 4, 5, 8, 9, 11, 12, 13, AND 15)



TYPICAL SIDE ELEVATION-HORIZONTAL ROOF

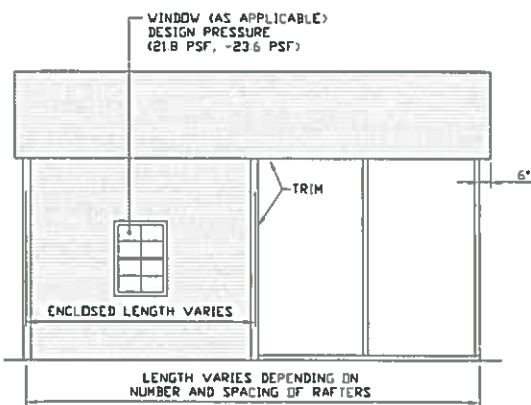
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TYPICAL END ELEVATION-HORIZONTAL ROOF

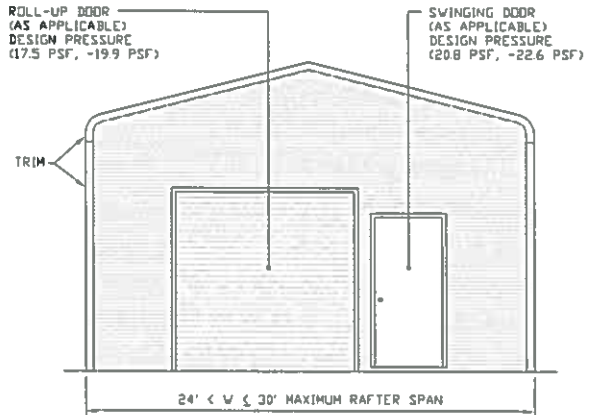
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BOW FRAME RAFTER STRUCTURE (Sheets 6, 7, 8, 10, 11, 12, AND 14)



TYPICAL SIDE ELEVATION

SCALE: NTS



TYPICAL END ELEVATION

SCALE: NTS

INSTALLATION NOTES AND SPECIFICATIONS

1. DESIGN IS FOR MAXIMUM 30' WIDE x 16' EAVE HEIGHT PARTIALLY OPEN UTILITY STRUCTURES
2. DESIGN WAS DONE IN ACCORDANCE WITH THE 2014 FLORIDA BUILDING CODE (FBC) 5TH EDITION, 2012 NORTH CAROLINA BUILDING CODE, 2006 INTERNATIONAL BUILDING CODE (IBC), 2009 IBC 2012 IBC AND 2015 IBC.
3. DESIGN LOADS ARE AS FOLLOWS:
 - A) DEAD LOAD = 1.5 PSF
 - B) LIVE LOAD = 12 PSF
 - C) GROUND SNOW LOAD = 35 PSF
4. LOW ULTIMATE WIND SPEED (LW) 105 TO 140 MPH (NOMINAL WIND SPEED 81 TO 108 MPH); MAXIMUM RAFTER/POST AND END POST SPACING = 5.0 FEET. (W <= 24'); AND SPACING = 4.0 FEET (24' < W < 30')
5. LOW HAZARD RISK CATEGORY I (WIND).
6. WIND EXPOSURE CATEGORY B.
7. SPECIFICATIONS APPLICABLE TO 29 GAUGE METAL PANELS FASTENED DIRECTLY TO 2 1/2" x 2 1/2" - 14 GAUGE TUBE STEEL (TS) FRAMING MEMBERS (UNLESS NOTED OTHERWISE)
8. AVERAGE FASTENER SPACING ON-CENTERS ALONG RAFTERS OR HAT CHANNELS, AND COLUMNS (INTERIOR OR END) = 10" O.C. (MAX)
9. FASTENERS CONSIST OF #12-14x3/4" SELF-DRILLING FASTENER (SDF), USE CONTROL SEAL WASHER WITH EXTERIOR FASTENERS. SPECIFICATIONS APPLICABLE ONLY FOR MEAN ROOF HEIGHT OF 20 FEET OR LESS, AND ROOF SLOPES OF 14" (3/12 PITCH) OR LESS SPACING REQUIREMENTS FOR OTHER ROOF HEIGHTS AND/OR SLOPES MAY VARY.
10. GROUND ANCHORS SHALL BE INSTALLED THROUGH BASE RAIL WITHIN 6" OF EACH RAFTER COLUMN ALONG SIDES
11. GROUND ANCHORS CONSIST OF #4 REBAR W/ WELDED NUT x 36" LONG IN SUITABLE SOIL CONDITIONS OPTIONAL ANCHORAGE MAY BE USED IN SUITABLE SOILS AND MUST BE USED IN UNSUITABLE SOILS AS NOTED.
12. WIND FORCES GOVERN OVER SEISMIC FORCES SEISMIC PARAMETERS ANALYZED ARE:
 - SOIL SITE CLASS = D
 - RISK CATEGORY I/II/III
 - R = 3.25 I_e = 1.0
 - S_{DS} = 1.522 V = C_sW
 - S_{D1} = 0.839

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PROJECT MGR: WSM

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EAGLE CARPORTS
210 AIRPORT ROAD
MOUNT AIRY, NC 27030
30'x16' SP UTILITY BUILDING

DATE: 11-11-16

SHT. 3

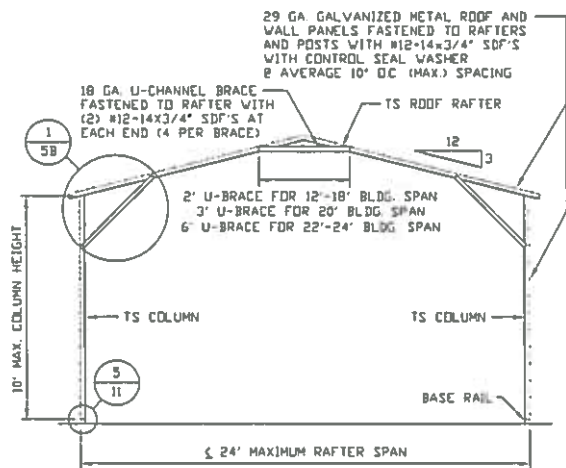
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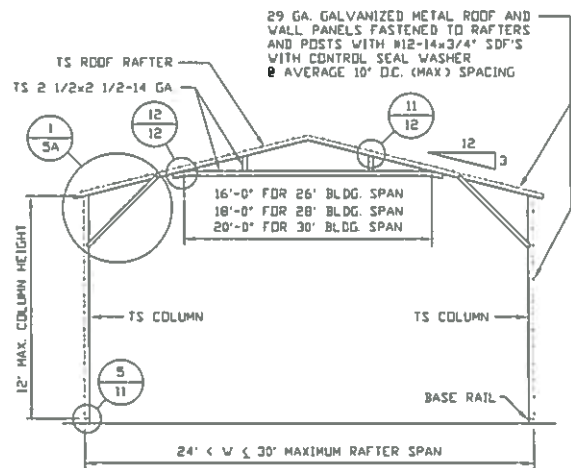
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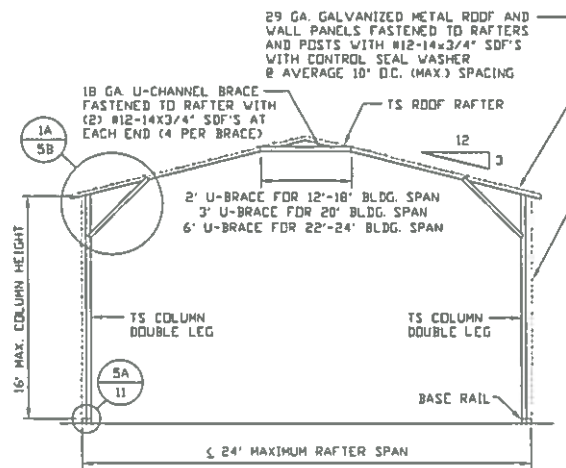
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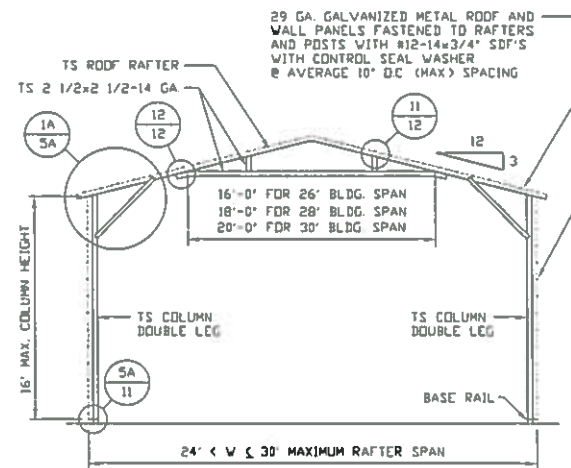
TYPICAL RAFTER/COLUMN END FRAME SECTION
SCALE: NTS



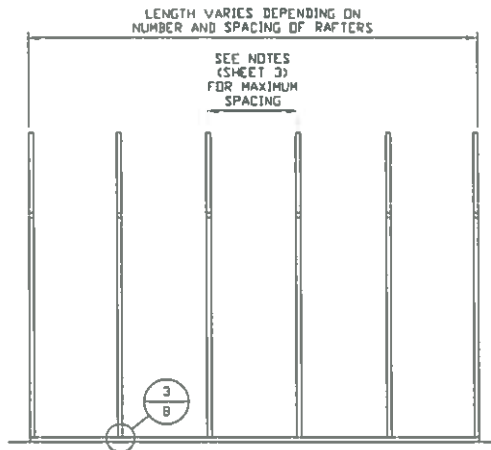
TYPICAL RAFTER/COLUMN END FRAME SECTION
SCALE: NTS



TYPICAL RAFTER/COLUMN END FRAME SECTION
SCALE: NTS



TYPICAL RAFTER/COLUMN END FRAME SECTION
SCALE: NTS



TYPICAL RAFTER/COLUMN SIDE FRAMING SECTION
SCALE: NTS

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**EAGLE CARPORTS
210 AIRPORT ROAD
MOUNT AIRY, NC 27030
30'x16' SP UTILITY BUILDING**

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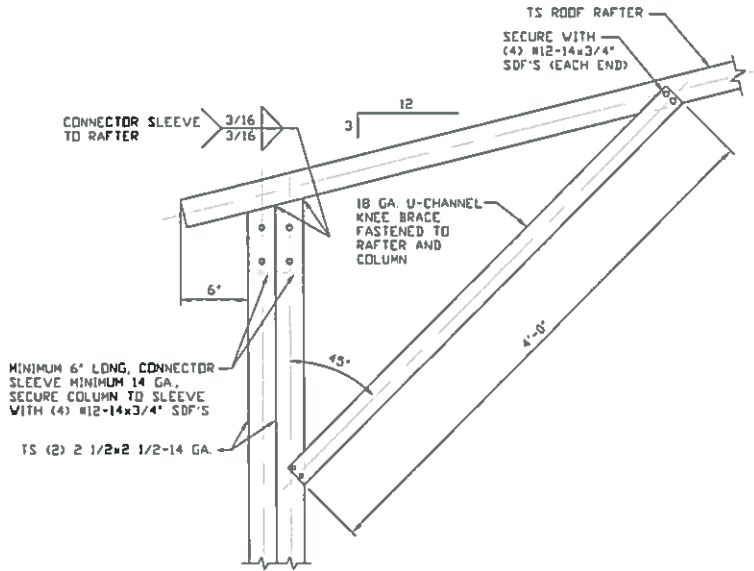
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CLIENT: -

DATE: 11-11-16
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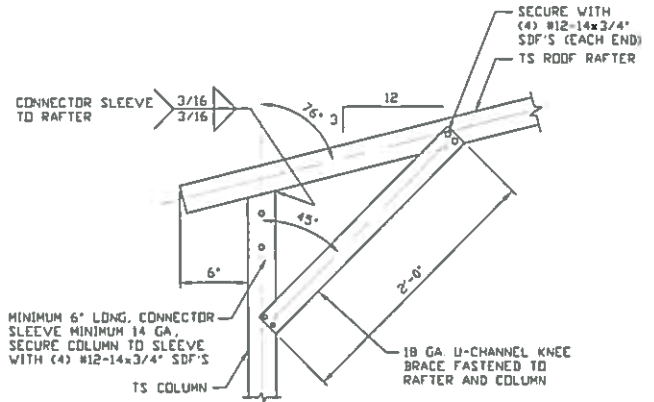
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JOB NO: 16166S
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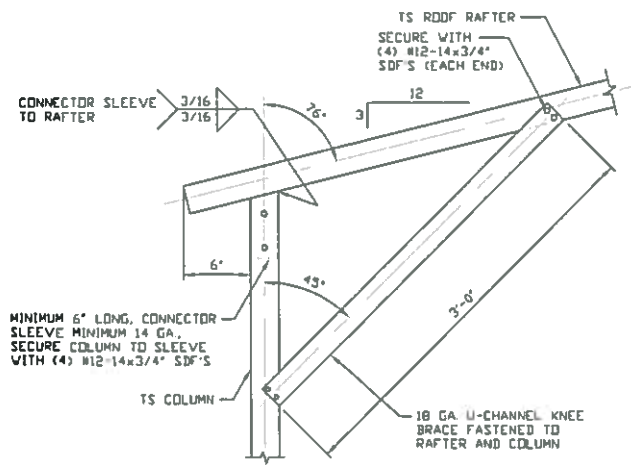
24' < W ≤ 30' MAXIMUM RAFTER SPAN



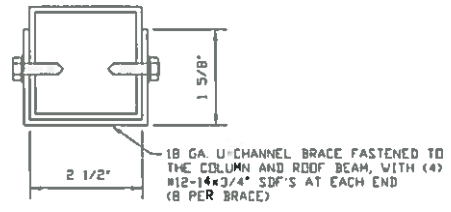
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SCALE: NTS
BOX EAVE RAFTER COLUMN CONNECTION DETAIL FOR HEIGHTS 12' < TO ≤ 16'



1C
SCALE: NTS
BOX EAVE RAFTER COLUMN CONNECTION DETAIL FOR HEIGHTS ≤ 8'



1B
SCALE: NTS
BOX EAVE RAFTER COLUMN CONNECTION DETAIL FOR HEIGHTS 8' < TO ≤ 12'



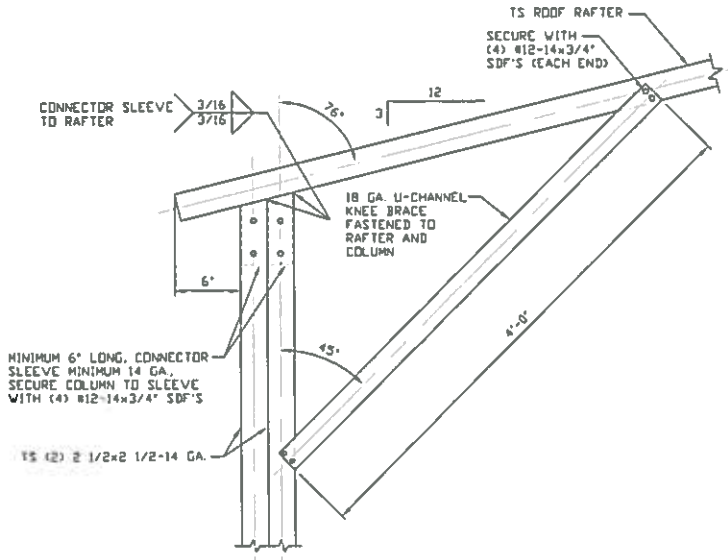
BRACE SECTION
SCALE: NTS

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CHECKED BY: PDH	210 AIRPORT ROAD		
PROJECT MGR: WSH	MOUNT AIRY, NC 27030		
DATE: 11-11-16	SCALE: NTS	JOB NO: 161665	
CLIENT: -	SHT: 5A	DWG NO: SK-2	REV: 1

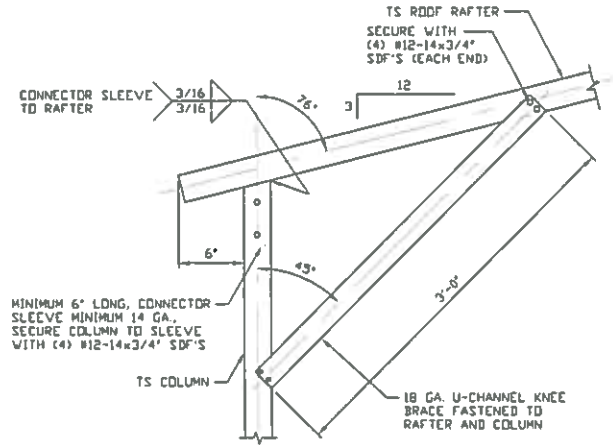
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≤ 24' MAXIMUM RAFTER SPAN



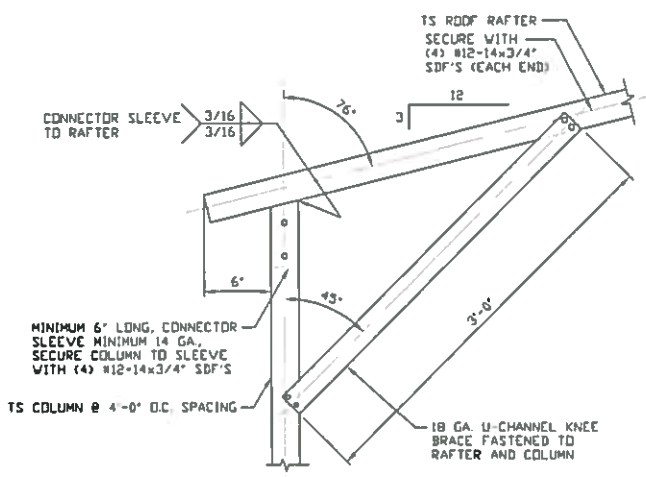
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BOX EAVE RAFTER COLUMN CONNECTION DETAIL FOR HEIGHTS 12' < TO ≤ 16'



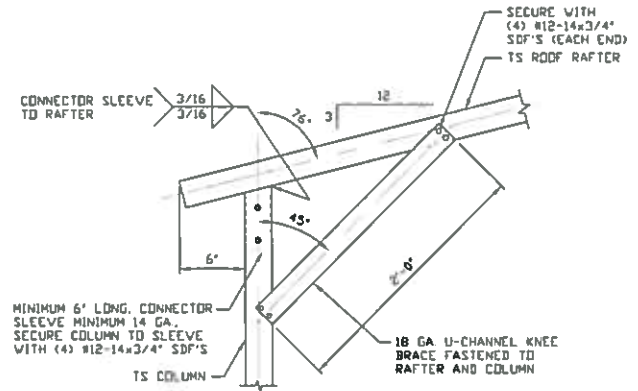
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BOX EAVE RAFTER COLUMN CONNECTION DETAIL FOR HEIGHTS 8' < TO ≤ 10'



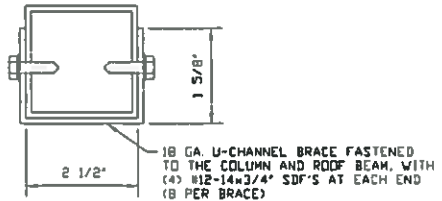
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BOX EAVE RAFTER COLUMN CONNECTION DETAIL FOR HEIGHTS 10' < TO ≤ 12'



1D
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BOX EAVE RAFTER COLUMN CONNECTION DETAIL FOR HEIGHTS ≤ 8'



BRACE SECTION
SCALE: NTS

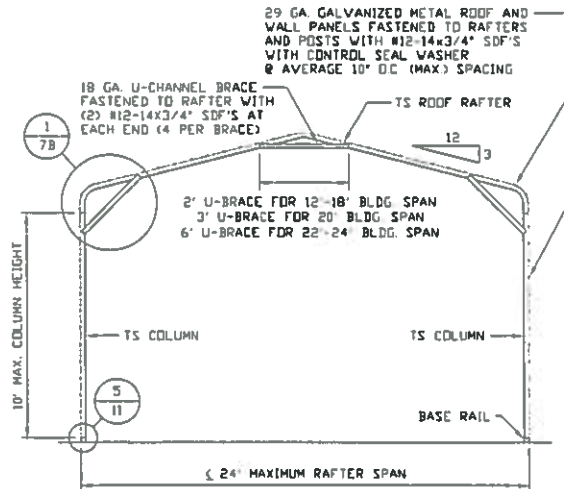
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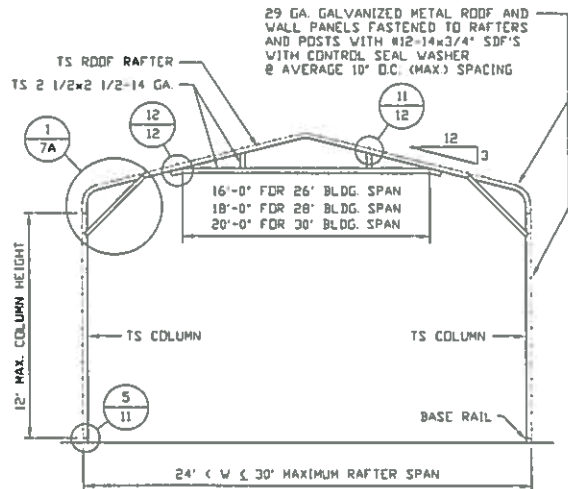
**EAGLE CARPORTS
210 AIRPORT ROAD
MOUNT AIRY, NC 27030
30'x16' SP UTILITY BUILDING**

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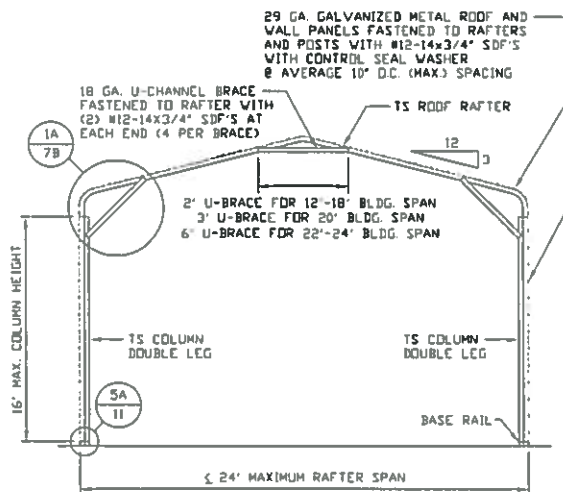
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CLIENT: -	SHT. 5B	DWG. NO: SK-2	REV: 1



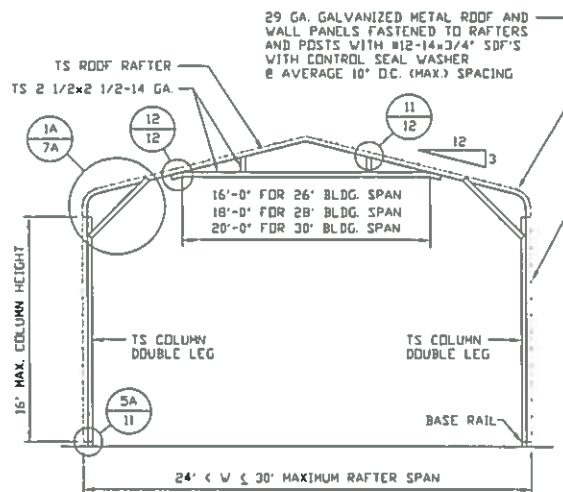
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SCALE: NTS



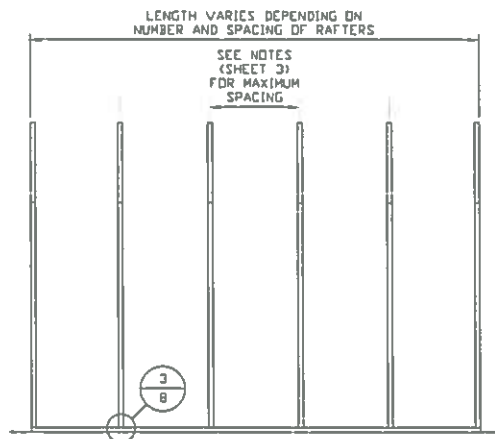
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SCALE: NTS



TYPICAL RAFTER/COLUMN END FRAME SECTION
SCALE: NTS



TYPICAL RAFTER/COLUMN END FRAME SECTION
SCALE: NTS



TYPICAL RAFTER/COLUMN FRAMING SIDE SECTION
SCALE: NTS

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**EAGLE CARPORTS
210 AIRPORT ROAD
MOUNT AIRY, NC 27030
30'x16' SP UTILITY BUILDING**

DATE: 11-11-16

SHT. 6

SCALE: NTS

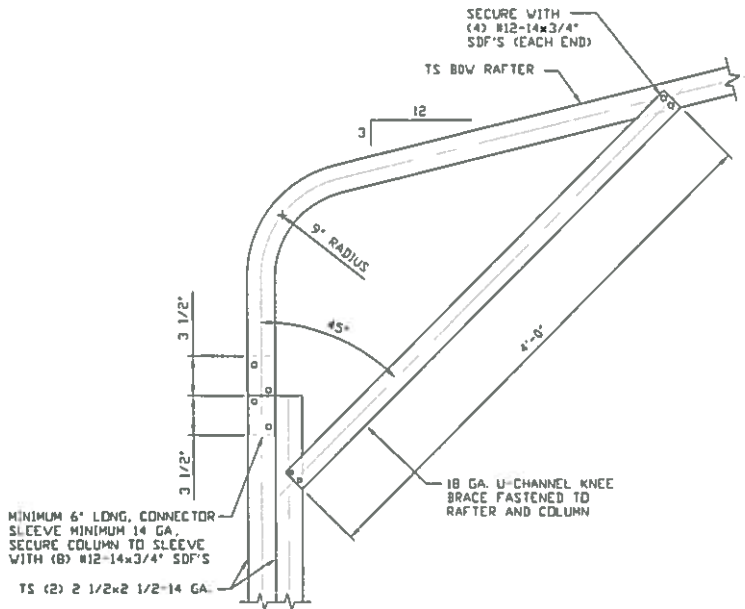
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JOB NO: 16166S

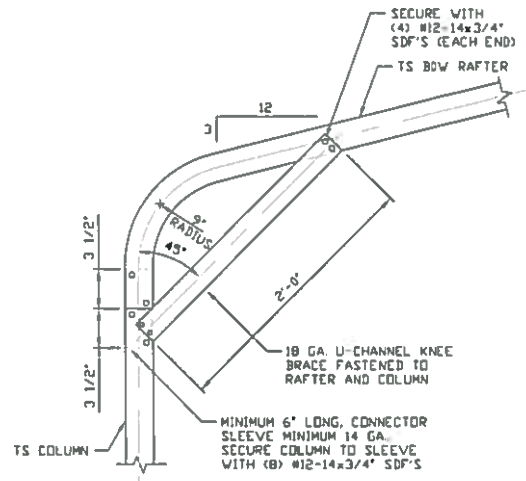
REV: 1

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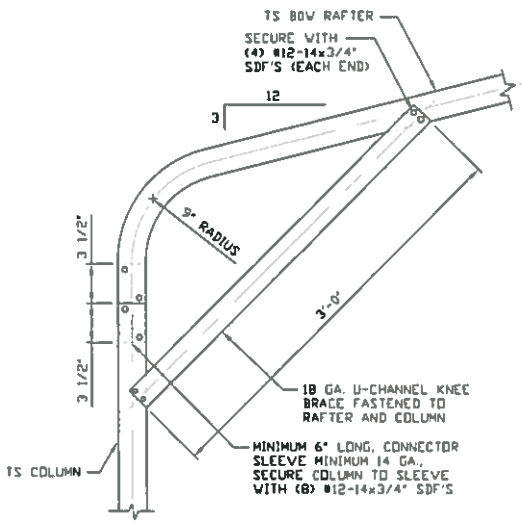
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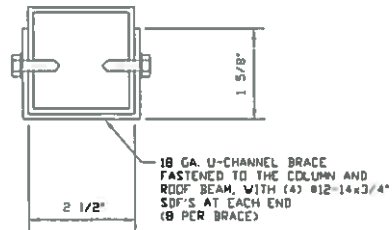
1A
BOW EAVE RAFTER COLUMN CONNECTION DETAIL FOR HEIGHTS 12' < TO ≤ 16'
 SCALE: NTS



1C
BOW EAVE RAFTER COLUMN CONNECTION DETAIL FOR HEIGHTS ≤ 8'
 SCALE: NTS



1B
BOW EAVE RAFTER COLUMN CONNECTION DETAIL FOR HEIGHTS 8' < TO ≤ 10'
 SCALE: NTS



BRACE SECTION
 SCALE: NTS

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PROJECT MGR: WSH

CLIENT: -

**EAGLE CARPORTS
 210 AIRPORT ROAD
 MOUNT AIRY, NC 27030
 30'x16' SP UTILITY BUILDING**

DATE: 11-11-16

SHT. 7A

SCALE: NTS

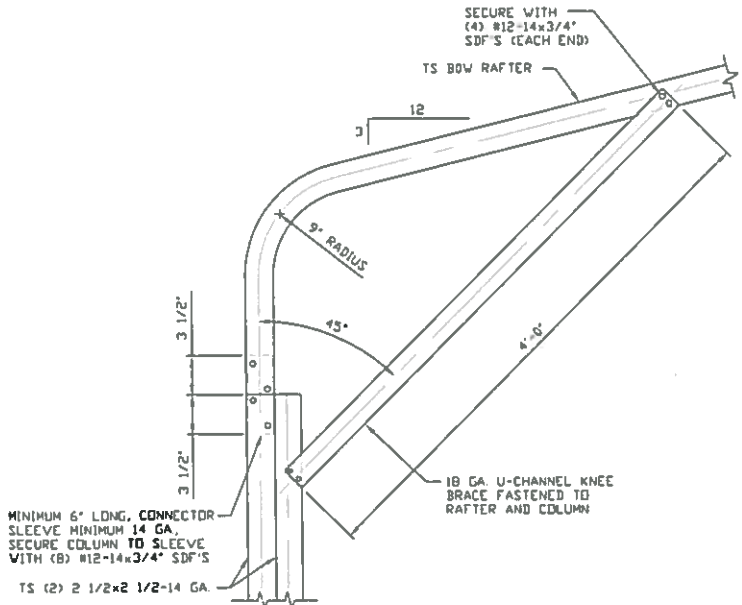
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JOB NO: 16166S

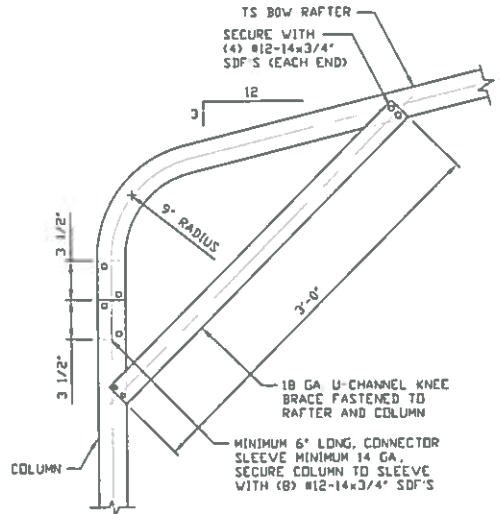
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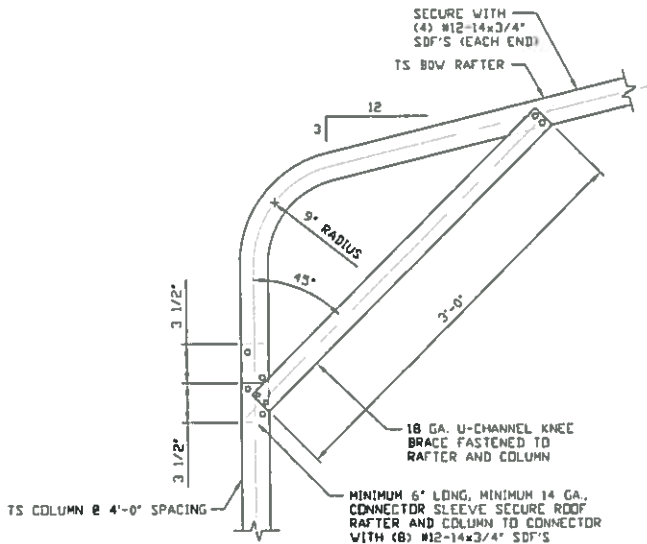
≤ 24' MAXIMUM RAFTER SPAN



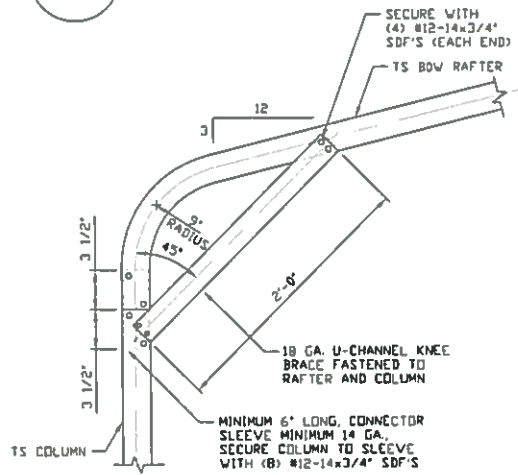
1A
BOW EAVE RAFTER COLUMN CONNECTION DETAIL FOR HEIGHTS 12' < TO ≤ 16'
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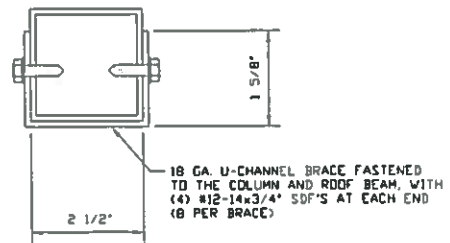
1C
BOW EAVE RAFTER COLUMN CONNECTION DETAIL FOR HEIGHTS 8' < TO ≤ 10'
 SCALE: NTS



1B
BOW EAVE RAFTER COLUMN CONNECTION DETAIL FOR HEIGHTS 8' < TO ≤ 12'
 SCALE: NTS



1D
BOW EAVE RAFTER COLUMN CONNECTION DETAIL FOR HEIGHTS ≤ 8'
 SCALE: NTS



BRACE SECTION
 SCALE: NTS

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 ENGINEERING AND CONSULTING, INC.**

DRAWN BY: LT
CHECKED BY: PDH
PROJECT MGR: WSM
CLIENT: -

EAGLE CARPORTS
 210 AIRPORT ROAD
 MOUNT AIRY, NC 27030
 30'x16' SP UTILITY BUILDING

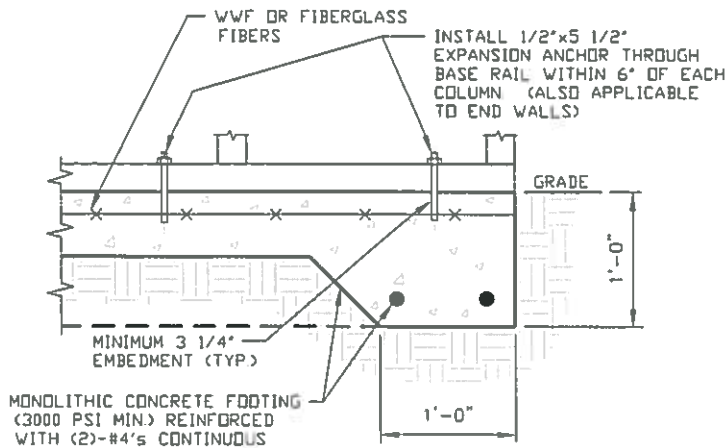
DATE: 11-11-16
SHT. 7B

SCALE: NTS
DWG. NO: SK-2

JOB NO: 16166S
REV. 1

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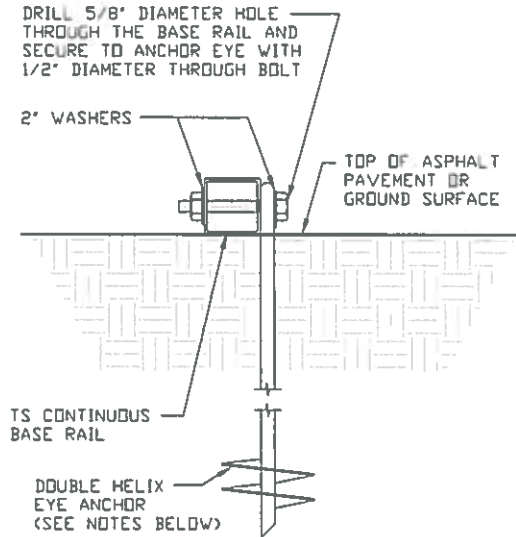
BASE RAIL ANCHORAGE OPTIONS



3A

CONCRETE MONOLITHIC SLAB BASE RAIL ANCHORAGE

SCALE: NTS
MINIMUM ANCHOR EDGE DISTANCE IS 1 5/8"



3B

GROUND BASE HELIX ANCHORAGE

SCALE: NTS (CAN BE USED FOR ASPHALT)

GENERAL NOTES

CONCRETE:

CONCRETE SHALL HAVE A MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS

COVER OVER REINFORCING STEEL:

FOR FOUNDATIONS, MINIMUM CONCRETE COVER OVER REINFORCING BARS SHALL BE PER ACI-318:
3" IN FOUNDATIONS WHERE THE CONCRETE IS CAST AGAINST AND PERMANENTLY IN CONTACT WITH THE EARTH OR EXPOSED TO THE EARTH OR WEATHER, AND 1 1/2" ELSEWHERE.

REINFORCING STEEL:

THE TURNDOWN REINFORCING STEEL SHALL BE ASTM A615 GRADE 60. THE SLAB REINFORCEMENT SHALL BE WELDED WIRE FABRIC MEETING ASTM A185 OR FIBERGLASS FIBER REINFORCEMENT.

REINFORCEMENT MAY BE BENT IN THE SHOP OR THE FIELD PROVIDED:

- 1 REINFORCEMENT IS BENT COLD
- 2 THE DIAMETER OF THE BEND, MEASURED ON THE INSIDE OF THE BAR, IS NOT LESS THAN SIX-BAR DIAMETERS
- 3 REINFORCEMENT PARTIALLY EMBEDDED IN CONCRETE SHALL NOT BE FIELD BENT.

HELIX ANCHOR NOTES:

- 1 FOR VERY DENSE AND/OR CEMENTED SANDS, COARSE GRAVEL AND COBBLES, CALICHE, PRELOADED SILTS AND CLAYS, USE MINIMUM (2) 4" HELICES WITH MINIMUM 30' EMBEDMENT OR SINGLE 6" HELIX WITH MINIMUM 50' EMBEDMENT
- 2 FOR CORAL USE MINIMUM (2) 4" HELICES WITH MINIMUM 30' EMBEDMENT OR SINGLE 6" HELIX WITH MINIMUM 50' EMBEDMENT.
- 3 FOR MEDIUM DENSE COARSE SANDS, SANDY GRAVELS, VERY STIFF SILTS, AND CLAYS USE MINIMUM (2) 4" HELICES WITH MINIMUM 30 INCH EMBEDMENT OR SINGLE 6" HELIX WITH MINIMUM 50' EMBEDMENT.
- 4 FOR LOOSE TO MEDIUM DENSE SANDS, FIRM TO STIFF CLAYS AND SILTS ALLUVIAL FILL, USE MINIMUM (2) 6" HELICES WITH MINIMUM 50' EMBEDMENT.
- 5 FOR VERY LOOSE TO MEDIUM DENSE SANDS, FIRM TO STIFFER CLAYS AND SILTS, ALLUVIAL FILL, USE MINIMUM (2) 8" HELICES WITH MINIMUM 60' EMBEDMENT.

**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

DRAWN BY: LT

CHECKED BY: PDH

PROJECT MGR: WSH

CLIENT: -

**EAGLE CARPORTS
210 AIRPORT ROAD
MOUNT AIRY, NC 27030
30'x16' SP UTILITY BUILDING**

DATE: 11-11-16

SHT. 8

SCALE: NTS

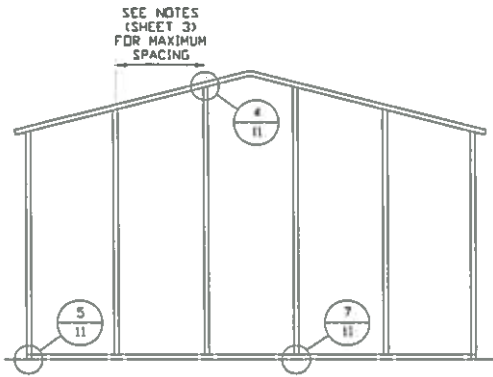
DWG. NO: SK-2

JOB NO: 16166S

REV: 1

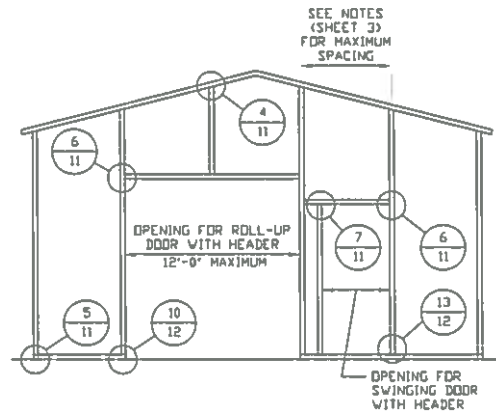
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BOX EAVE RAFTER END WALL AND SIDE WALL OPENINGS



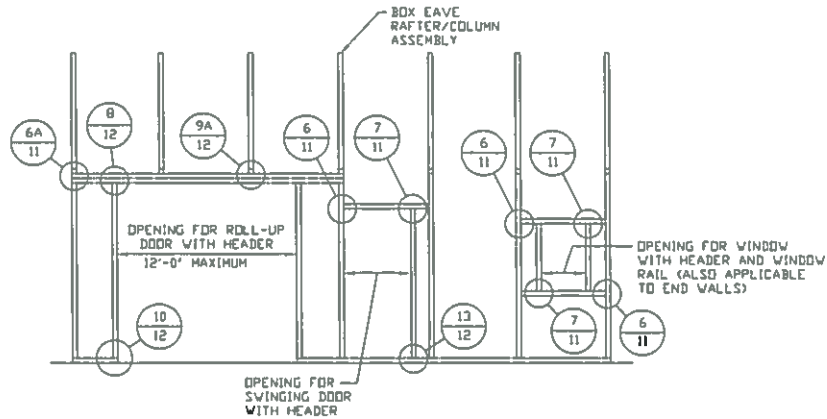
**TYPICAL BOX EAVE RAFTER
END WALL FRAMING SECTION**

SCALE: NTS



**TYPICAL BOX EAVE RAFTER END
WALL OPENINGS FRAMING SECTION**

SCALE: NTS



**TYPICAL BOX EAVE RAFTER
SIDE WALL OPENINGS FRAMING SECTION**

SCALE: NTS

**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

DRAWN BY: LT

CHECKED BY: PDH

PROJECT MGR: WSM

CLIENT: -

**EAGLE CARPORTS
210 AIRPORT ROAD
MOUNT AIRY, NC 27030
30'x16' SP UTILITY BUILDING**

DATE: 11-11-16

SHT. 9

SCALE: NTS

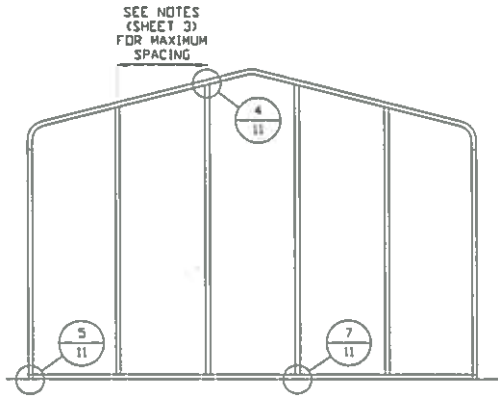
DWG. NO: SK-2

JOB NO: 16166S

REV: 1

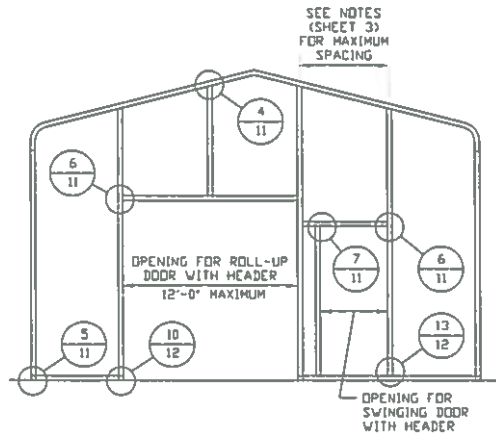
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BOW RAFTER END WALL AND SIDE WALL OPENINGS



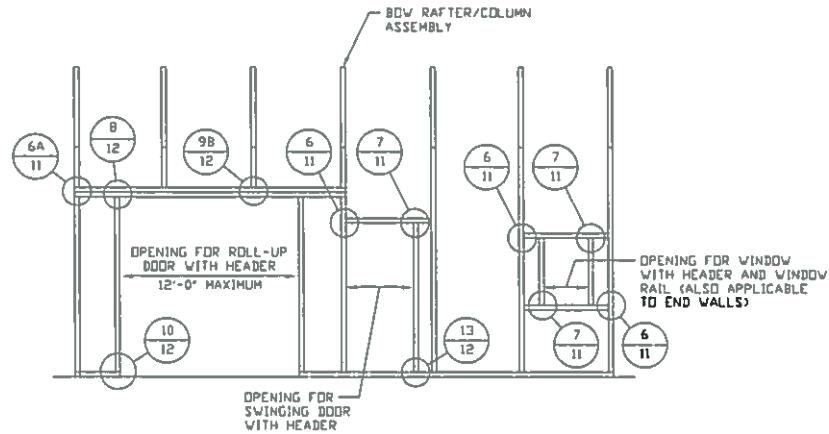
**TYPICAL BOW RAFTER
END WALL FRAMING SECTION**

SCALE: NTS



**TYPICAL BOW RAFTER END
WALL OPENINGS FRAMING SECTION**

SCALE: NTS



**TYPICAL BOW RAFTER SIDE
WALL OPENINGS FRAMING SECTION**

SCALE: NTS

**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

DRAWN BY: LT

CHECKED BY: PDM

PROJECT MGR: WSM

CLIENT: -

**EAGLE CARPORTS
210 AIRPORT ROAD
MOUNT AIRY, NC 27030
30'x16' SP UTILITY BUILDING**

DATE: 11-11-16

SHT. 10

SCALE: NTS

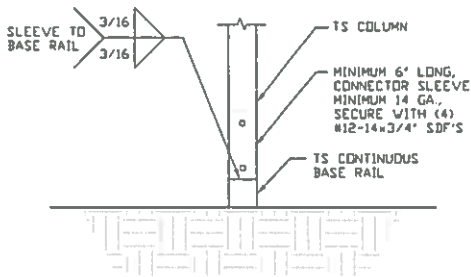
DWG. NO: SK-2

JOB NO: 161665

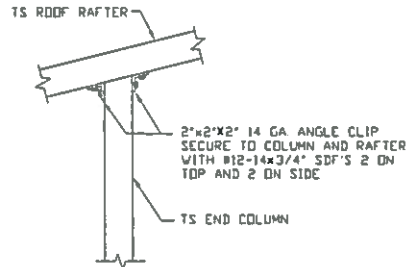
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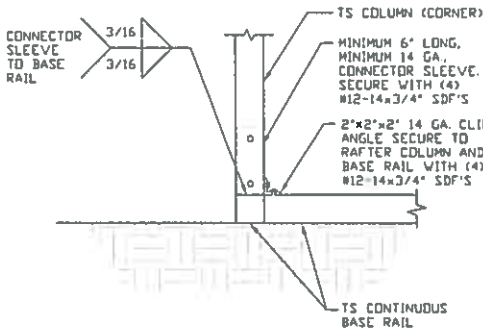
BOW AND BOX EAVE RAFTER WALL OPENING DETAILS



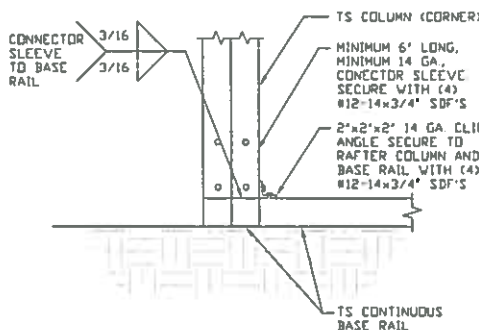
2 RAFTER COLUMN/BASE RAIL CONNECTION DETAIL
SCALE: NTS



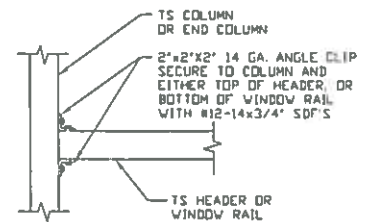
4 END COLUMN/RAFTER CONNECTION DETAIL
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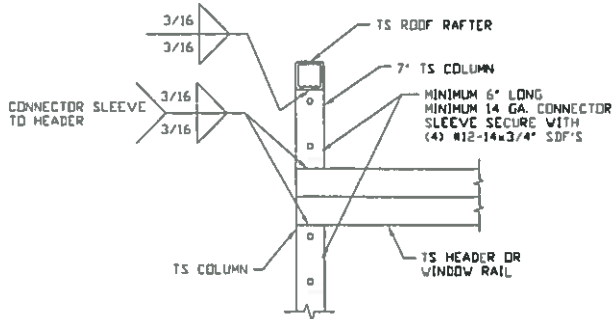
5 END COLUMN/BASE RAIL CONNECTION DETAIL
SCALE: NTS



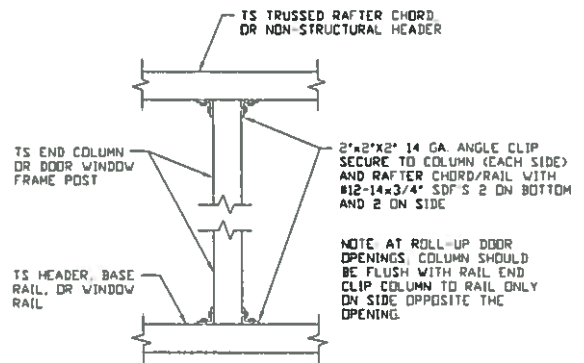
5A END COLUMN/BASE RAIL CONNECTION DETAIL
SCALE: NTS



6 COLUMN OR WINDOW RAIL TO POST CONNECTION DETAIL
SCALE: NTS



6A COLUMN OR WINDOW RAIL TO POST CONNECTION DETAIL
SCALE: NTS



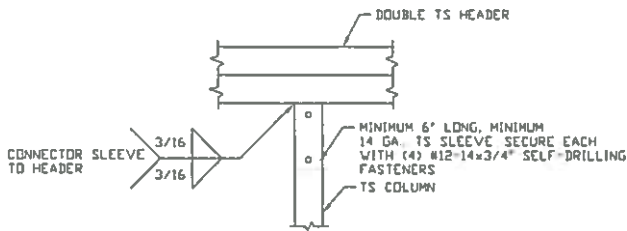
7 COLUMN TO WINDOW RAIL CONNECTION DETAIL
SCALE: NTS

**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

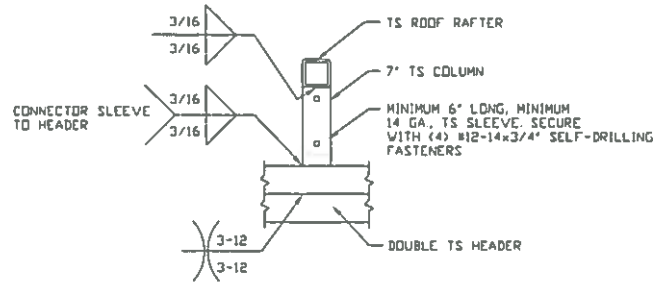
DRAWN BY: LT		EAGLE CARPORTS 210 AIRPORT ROAD MOUNT AIRY, NC 27030 30'x16' SP UTILITY BUILDING		
CHECKED BY: PDH				
PROJECT MGR: VSM	DATE: 11-11-16	SCALE: NTS	JOB NO: 16166S	
CLIENT: -	SHT. 11	DWG. NO: SK-2	REV: 1	

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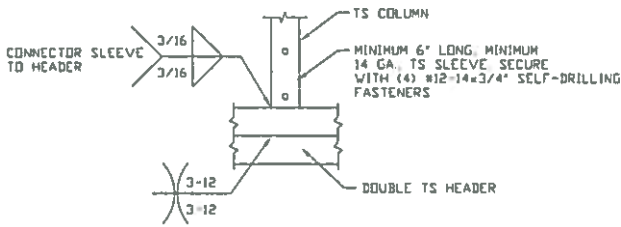
BOW AND BOX EAVE RAFTER WALL OPENING DETAILS



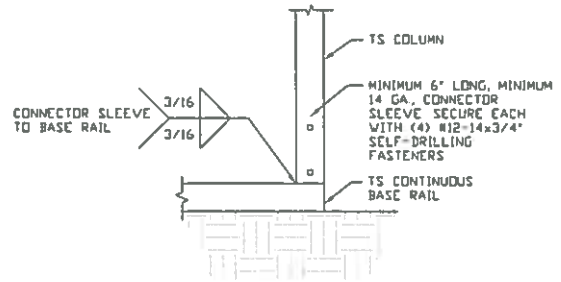
8 DOUBLE HEADER/COLUMN CONNECTION DETAIL
SCALE: NTS



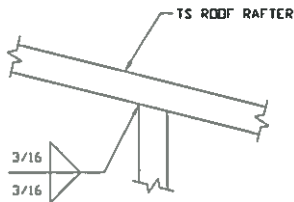
9A COLUMN/DOUBLE HEADER CONNECTION DETAIL
SCALE: NTS



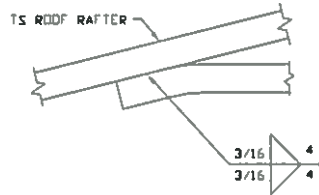
9B COLUMN/DOUBLE HEADER CONNECTION DETAIL
SCALE: NTS



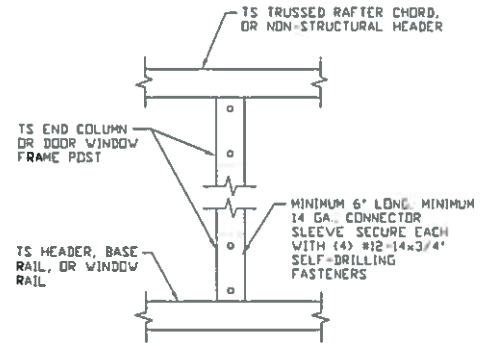
10 COLUMN/BASE RAIL CONNECTION DETAIL
SCALE: NTS



11 RAFTER TO CHORD CONNECTION DETAIL
SCALE: NTS



12 COLLAR TIE CONNECTION DETAIL
SCALE: NTS



13 COLUMN TO HEADER OR BASE RAIL CONNECTION DETAIL
SCALE: NTS

**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

DRAWN BY: LT

CHECKED BY: PDH

PROJECT MGR: WSM

CLIENT: -

EAGLE CARPORTS
210 AIRPORT ROAD
MOUNT AIRY, NC 27030
30'x16' SP UTILITY BUILDING

DATE: 11-11-16

SHT. 12

SCALE: NTS

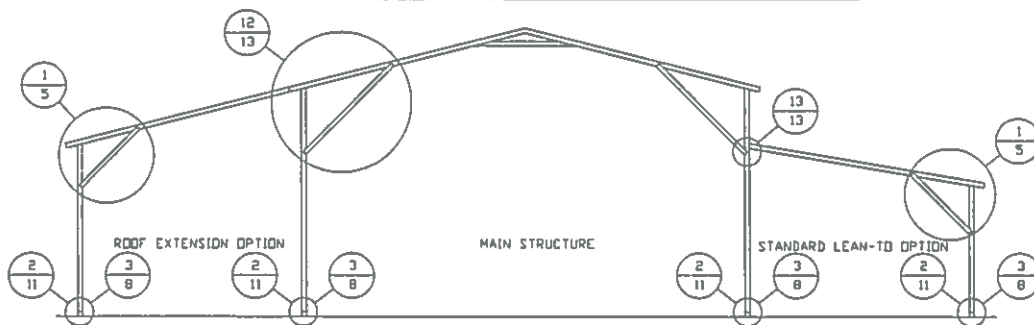
DWG. NO: SK-2

JOB NO: 16166S

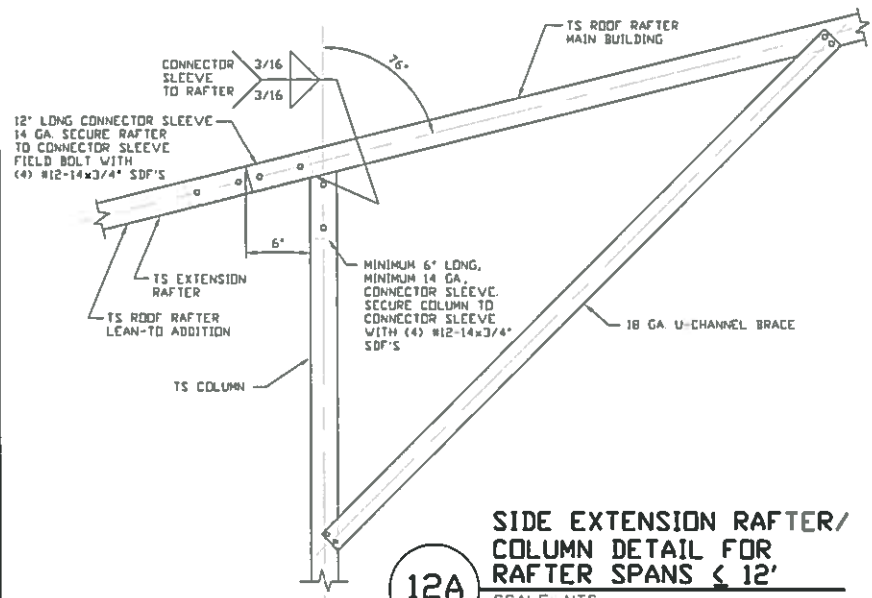
REV: 1

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BOX EAVE RAFTER LEAN-TO OPTIONS

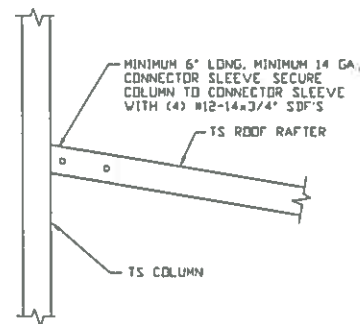


TYPICAL BOX EAVE RAFTER LEAN-TO OPTIONS FRAMING SECTION (BOTH OPTIONS SHOWN)



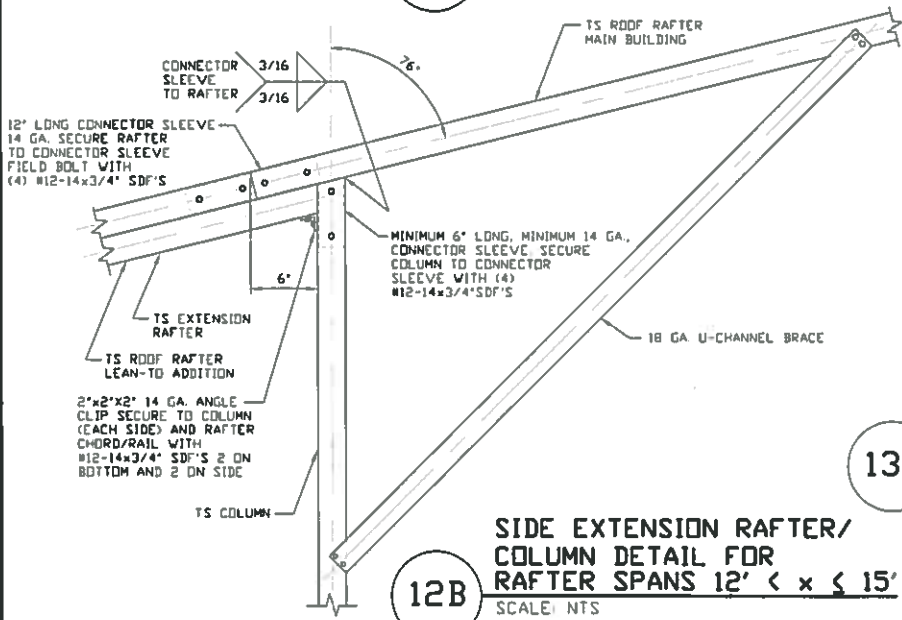
12A

**SIDE EXTENSION RAFTER/
COLUMN DETAIL FOR
RAFTER SPANS < 12'**
SCALE: NTS



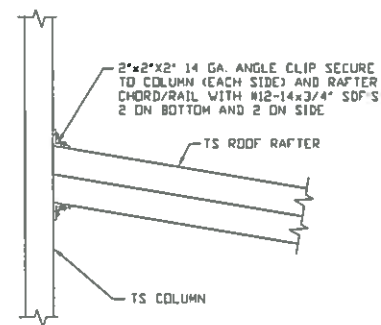
13A

**LEAN-TO RAFTER TO RAFTER
COLUMN CONNECTION DETAIL
FOR RAFTER SPANS < 12'**
SCALE: NTS



12B

**SIDE EXTENSION RAFTER/
COLUMN DETAIL FOR
RAFTER SPANS 12' < x < 15'**
SCALE: NTS



13B

**LEAN-TO RAFTER TO RAFTER
COLUMN CONNECTION DETAIL
FOR RAFTER SPANS 12' < x < 15'**
SCALE: NTS

**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

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CHECKED BY: PDH

PROJECT MGR: WSM

CLIENT: -

**EAGLE CARPORTS
210 AIRPORT ROAD
MOUNT AIRY, NC 27030
30'x16' SP UTILITY BUILDING**

DATE: 11-11-16

SHT. 13

SCALE: NTS

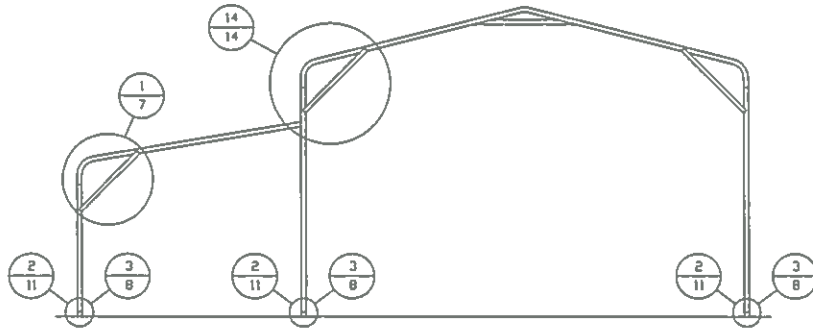
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JOB NO: 16166S

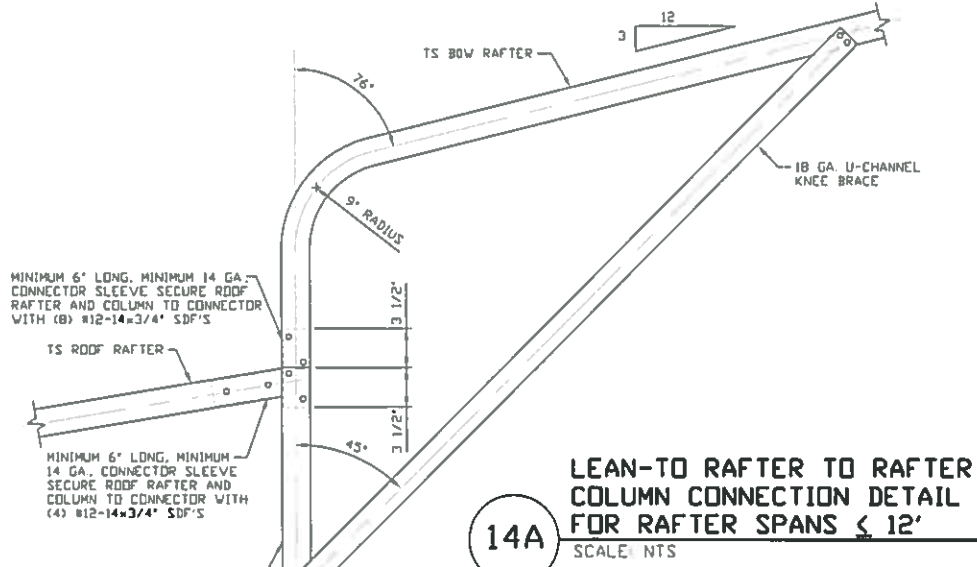
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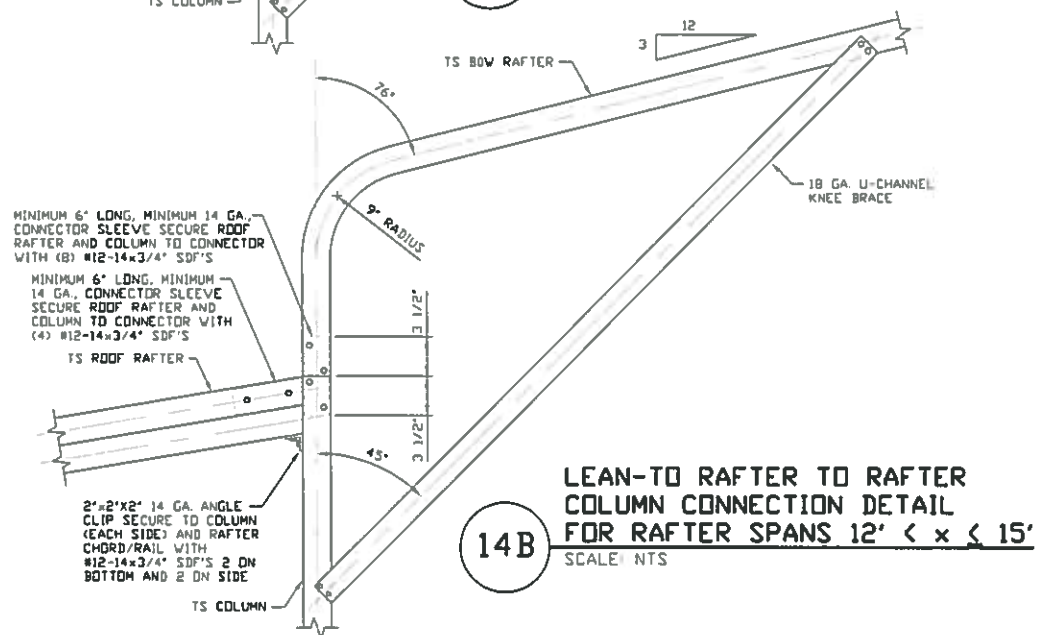
BOW RAFTER LEAN-TO OPTION



TYPICAL BOW RAFTER LEAN-TO OPTION FRAMING SECTION
SCALE: NTS



14A
SCALE: NTS



14B
SCALE: NTS

**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

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PROJECT MGR: WSH

CLIENT: -

**EAGLE CARPORTS
210 AIRPORT ROAD
MOUNT AIRY, NC 27030
30'x16' SP UTILITY BUILDING**

DATE: 11-11-16

SHT. 14

SCALE: NTS

DWG. NO: SK-2

JOB NO: 16166S

REV: 1

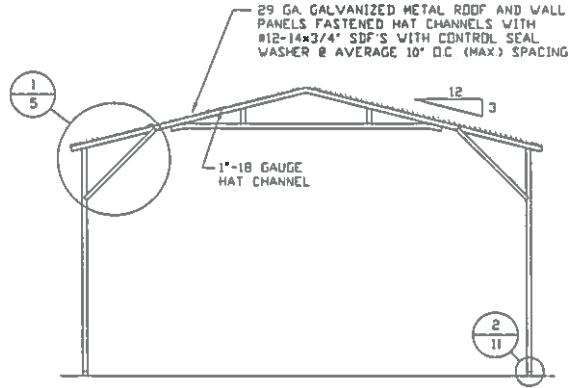
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BOX EAVE RAFTER VERTICAL ROOF OPTION



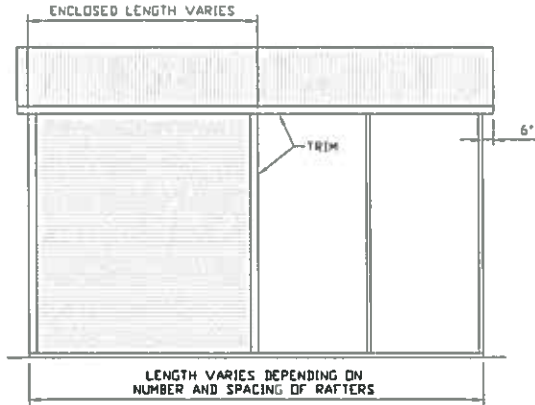
**TYPICAL END ELEVATION
VERTICAL ROOF**

SCALE: NTS



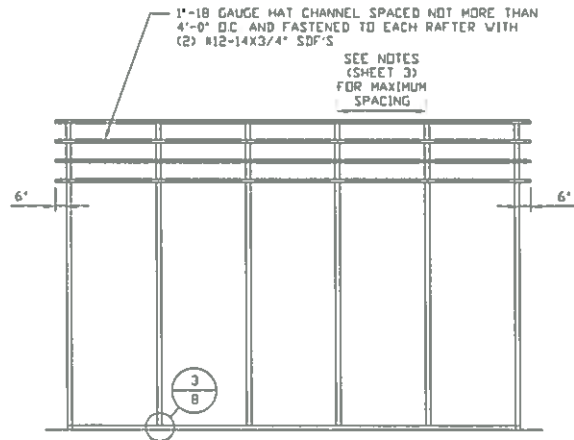
**TYPICAL SECTION
VERTICAL ROOF OPTION**

SCALE: NTS



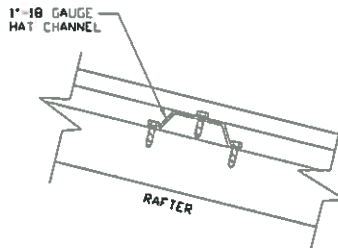
**TYPICAL SIDE ELEVATION
VERTICAL ROOF**

SCALE: NTS



**TYPICAL FRAMING SECTION
VERTICAL ROOF OPTION**

SCALE: NTS



ROOF PANEL ATTACHMENT
(ALTERNATE FOR VERTICAL ROOF PANELS)
SCALE: NTS

**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

DRAWN BY: LT

CHECKED BY: PDH

PROJECT MGR: WSM

CLIENT: -

**EAGLE CARPORTS
210 AIRPORT ROAD
MOUNT AIRY, NC 27030
30'x16' SP UTILITY BUILDING**

DATE: 11-11-16

SHT. 15

SCALE: NTS

DWG. NO: SK-2

JOB NO: 16166S

REV: 1

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TOWN OF MESILLA
 PERMISSION TO CONDUCT WORK
 OR

OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT

OFFICIAL USE ONLY:

Case # 060852

Fee \$ 22.50

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 060852 ZONE: HR CODE: AC APPLICATION DATE: 2/14/2019

Jorge Larrazabal 646.314.1667
 Name of Applicant/Owner Applicant's Telephone Number

PO Box 510 Mesilla NM 88046
 Applicant's/Owner's Mailing Address City State Zip Code

LJA9372@Gmail.com
 Applicant's/Owner's E-mail Address

Texas Star steel LLC
 Contractor's Name & Address (if none, indicate Self)

915.701.9220 _____
 Contractor's Telephone Number Contractor's Tax ID Number Contractor's License Number

Address of Proposed Work: 2195 Calle de el Norte

Description of Proposed Work: Build a Carport with a storage unit

\$ 8000.00 _____
 Estimated Cost Signature of Applicant Date 2-14-2019

Signature of property owner if applicant is not the property owner: Doris O'Brien Enders

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and BOT before issuance of a building permit. Recorded proof of ownership with legal description of property (deed or current tax bill) along with verification of legally subdivided status of the property are required. **Plan sheets are to be no larger than 11 x 17 inches.**

FOR OFFICIAL USE ONLY

PZHAC Administrative Approval Approved Date: _____
 Approved Date: _____ BOT Disapproved Date: _____
 Disapproved Date: _____ Approved with Conditions
 Approved with conditions

FIRE INSPECTION/APPROVAL REQUIRED: ___ YES NO ___ SEE CONDITIONS

CID PERMIT/INSPECTION REQUIRED: YES ___ NO ___ SEE CONDITIONS

CONDITIONS: PZHAC REVIEW & BOT FINAL APPROVAL REQUIRED
CID PERMIT REQUIRED

PERMISSION ISSUED/DENIED BY: _____ ISSUE DATE: _____

- This Application will include the following, if checked:
1. ___ Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was legally subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
 2. ___ Site Plan with dimensions and details.
 3. ___ Proof of legal access to the property.
 4. ___ Drainage plan.
 5. ___ Architectural style and color scheme – diagrams or elevations (Historical and commercial zones only).
 6. ___ Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
 7. ___ Other information as necessary or required by the City Code or Community Development:

**PZHAC WORK SESSION
MARCH 4, 2019
ITEM 4**

Submitted by Zach Penn; a request to discuss plans to construct a 75 foot by 50 foot metal and stucco storage building on a residential property at the north end of Cielo Grande Court (Lot 8). (Case 060855) Zoned: Rural Farm (RF)

DESCRIPTION OF REQUEST:

The applicant is currently building his dwelling on the subject property. The is one of four properties located on a cul-de-sac on the north side of Calle del Norte just east of Snow Road. The property is surrounding by other similar sized properties, all zoned RF. Most of these lots contain large single family dwellings. The remaining four lots are either vacant or contain some form of agriculture. The subject lot is located at the north end of the cul-de-sac.

The storage structure will be a metal framed building about 3000 square feet in size. The exterior will be finished to match the dwelling being built on the property, and will be about 20 – 30 feet from the side property line (there is no side setback requirement in the RF zone). There will be electric and water in the structure. The structure will be used to store vehicles and farm equipment, and as a garage, work shop and hobby area for the applicant.

Photos of dwellings and other structures on nearby properties are attached, along with a survey showing the pad site of the dwelling and the proposed location of the storage building. According to the applicant, the style and color of the dwelling will be similar to other storage structures in the RF zone.

The PZHAC will need to determine that the proposed storage building is compatible with the development or other properties in the area, and for the zoning of the property.

CONSISTENCY WITH THE CODE:

The PZHAC will need to determine that the proposed wall will be compatible with the historical aspect of the surrounding area, and will be consistent with the following section of the Code:

18.20.020 Permitted uses. (RF Zone)

A lot in the RF zone shall be used for the following purposes only:

J. Accessory structures and uses such as barns, corrals, sheds, pens and similar structures customarily incidental to any of the above uses, when located on the same lot.

The applicant will be present at the work session to provide further details about the proposed construction of the walls and shed, and will be available to answer any questions that may arise.

Doña Ana County, NM

General Reference Maps

2014 Aerial

Addresses

County Address Points

Maps

Legend

Map Themes

Parcels

UDC Zoning

Roads and Transportation

NM House Districts

NM Senate Districts

County Commission Districts

City Council Districts

Median Household Income

General Land Ownership

Account Number: [R0401099](#)

Parcel Number: 4005137354487

Owner: PENN WILLIAM ZACHARY

Mail Address: 3495 HONDALE ROAD
SOUTHWEST

Subdivision: BUENA TIERRA
SUBDIVISION (BK 17 PG 5-7 - 914950)

Property Address: 2821 CIELO
GRANDE CT

Acres: 5.07999992





DOCUMENTS USED IN THE PREPARATION OF THIS PLAN:
PATENT TRADE MARKS AND COPYRIGHT TRADEMARKS, FILED UNDER NO. 100822, DOVA AND COUNTY, NEW MEXICO;
RECORDING NUMBER 14373, VIRGINIA A. BECK, DATED DECEMBER 1, 2013, FILED UNDER NO. 2013, DISTRICT NO. 200822, DOVA AND COUNTY, NEW MEXICO.



GEM SURVEYING
P.O. BOX 189
DOVA, NM 86022
TEL: 505-293-5029
FAX: 505-293-5029

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PHOTO OF THE SUBJECT PROPERTY



PHOTOS OF DWELLINGS ON NEARBY PROPERTIES



PHOTOS OF DWELLINGS ON NEARBY PROPERTIES



TOWN OF MESILLA
 PERMISSION TO CONDUCT WORK
 OR

OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT

OFFICIAL USE ONLY:

Case # 060855

Fee \$ 85.50

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 060855 ZONE: R# CODE: AC APPLICATION DATE: 2/25/18

ZACH PENN 575 494-0125
 Name of Applicant/Owner Applicant's Telephone Number

2450 SUNSHINE RD. DEMING NM 88037
 Applicant's/Owner's Mailing Address City State Zip Code

chilefarm@gmail.com
 Applicant's/Owner's E-mail Address

FABIAN BRUES CEMENTER, LLC
 Contractor's Name & Address (If none, indicate Self)

575 551 6496 03-360150-00-0 389485
 Contractor's Telephone Number Contractor's Tax ID Number Contractor's License Number

Address of Proposed Work: CIELO GRANDE CT LOT 8

Description of Proposed Work: 75' x 50' SHOP METAL BUILDING
20' SIDEWALL 2:12 PITCH

\$ 50,000.00 [Signature] 02/25/18
 Estimated Cost Signature of Applicant Date

Signature of property owner if applicant is not the property owner: _____

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and BOT before issuance of a building permit. Recorded proof of ownership with legal description of property (deed or current tax bill) along with verification of legally subdivided status of the property are required. **Plan sheets are to be no larger than 11 x 17 inches.**

FOR OFFICIAL USE ONLY

PZHAC Administrative Approval **BOT** Approved Date: _____
 Approved Date: _____ Disapproved Date: _____
 Disapproved Date: _____ Approved with Conditions
 Approved with conditions

FIRE INSPECTION/APPROVAL REQUIRED: YES NO SEE CONDITIONS

CID PERMIT/INSPECTION REQUIRED: YES NO SEE CONDITIONS

CONDITIONS: PZHAC REVIEW & APPROVAL REQUIRED
CID PERMIT REQUIRED
[Signature]

PERMISSION ISSUED/DENIED BY: _____ ISSUE DATE: _____

This Application will include the following, if checked:

1. _____ Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was legally subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
2. _____ Site Plan with dimensions and details.
3. _____ Proof of legal access to the property.
4. _____ Drainage plan.
5. _____ Architectural style and color scheme – diagrams or elevations (Historical and commercial zones only).
6. _____ Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
7. _____ Other information as necessary or required by the City Code or Community Development:

PZHAC MEETING
MINUTES
FEBRUARY 19, 2019

(PART OF CONSENT AGENDA)



**PZHAC WORK SESSION
AGENDA
FEBRUARY 19, 2019**

THE PLANNING, ZONING AND HISTORICAL APPROPRIATENESS COMMISSION (PZHAC) WILL HOLD A WORK SESSION, TUESDAY, FEBRUARY 19, 2019 AT 5:00 P.M. IN THE BOARD ROOM OF THE MESILLA TOWN HALL, 2231 AVENIDA DE MESILLA.

Item 1: Submitted by Jessica Kane, a request to discuss plans to construct a dwelling on a vacant residential property located at the southwest corner of Calle de Colon and Calle Tercera (address to be assigned). Zoned: Historical Residential (HR)

The applicant, her husband, and her architect were present to discuss the request and answer any questions that might arise. Staff provided a brief introduction of the case, stating that the applicant intended to build a 5000 plus square foot two-story dwelling on about a quarter acre of property at this location. Staff stated that the elevations submitted did not fit in very well with the development zone for the property, and that this had been explained to the applicant at the time the elevations were submitted to Staff for review. (Staff explained that the applicant had been given a copy of the checklist for the styles allowed by the Yguado Plan when she first came in to discuss the process for obtaining zoning approval for the dwelling. According to the applicant, she had discussed the styles allowed with her architect, and they both thought that the elevations submitted would meet the requirements of the development zone.) Staff also explained that although the applicant was told by Staff that the proposed style of the dwelling would probably not be approved by the PZHAC, she still wanted it reviewed by the PZHAC to get input as to what needed to be done.

The main issues discussed were the proposed size of the dwelling, the predominant style of the dwelling, the styles of the other dwellings in the area, and how the proposed dwelling would fit in with the existing development of the surrounding area. The applicant referenced other two-story dwellings that had been approved in the area, as well as the diversity of styles found in some of the surrounding dwellings that had been approved by previous administrations.

Item 2: Submitted by Ruben Contreras for Brittany Bloch (“Black Rat Tattoo”), a request to discuss plans to construct a small commercial building and a casita on a vacant property at the southwest corner of Calle de Correo and Avenida de Mesilla (address to be assigned). (Case 060848, Bus. Permit 0764) Zoned: Historical Commercial (HC)

The applicant and her architect were present to discuss the request and answer any questions that might arise. Staff provided a brief introduction of the case, stating that the applicant intended to build a commercial shop and a small apartment on the property. Staff explained that the Code allows commercial and residential uses are allowed on the same property, provided that the PZHAC approves a site development plan for the property. The structures would be about 900 plus square feet for the commercial structure and about 550 square feet for the apartment. Parking would consist of four spaces; two for the apartment and two for the commercial structure. (Staff reminded the PZHAC that parking is required for residential uses in the Historic districts of Mesilla, but that if a commercial operation had insufficient parking, the business could pay a yearly fee in lieu of having adequate parking.)

The applicant stated that the proposed style of the structure would be Spanish Pueblo, which was indicated by the elevations provided. Issues discussed were proposed styling features, access to the property, and a curb cut to be filled along Avenida de Mesilla. Additionally, because Calle de Correo is such a narrow road adjacent to the property, the applicant would like to limit parking along this section of the road.

Staff stated that the applicant planned to operate a tattoo parlor in the commercial structure, and that tattoo parlors had been allowed in Mesilla in the past. Staff also explained that approval of the commercial structure should not be dependent on approval of the business permit, since the structure could still be used by other commercial operations that might be allowed on this property.

There were no other issues.

Item 3: Submitted by Michael Clute; a request to discuss plans to add wood slats to a rear porch to provide privacy at a dwelling located at 2186 Calle de Guadalupe. (Case 060849) Zoned: Historical Residential (HR)

The applicant was present to discuss the request and answer any questions that might arise. Staff provided a brief introduction of the case, stating the fact that this property was the subject of a request for privacy slats to be installed in an existing concrete and wrought iron fence around the property. This request was turned down because the slats would interfere with the clear-sight-triangle on the southwest corner of the property. The applicant explained that the new proposal would consist of slats that were constructed as part of a set of wood screens that would be installed in the openings of the patio to provide privacy. Since they would extend along the lines of the dwelling, they would not interfere with the clear-sight-triangle. There were no other issues.

Item 4: Submitted by Daniel and Maxine Bustamantes, a request to discuss plans to construct a stuccoed concrete block wall on a residential property at 2590 Calle de Colon (Case 060850) Zoned: Historical Residential (HR)

The applicants were not present to discuss the proposed plans, so no discussion took place.

**PZHAC REGULAR MEETING
AGENDA
FEBRUARY 19, 2019**

THE PLANNING, ZONING AND HISTORICAL APPROPRIATENESS COMMISSION (PZHAC) WILL HOLD ITS REGULARLY SCHEDULED MEETING TUESDAY, FEBRUARY 19, 2019 AT 6:00 P.M. IN THE BOARD ROOM OF THE MESILLA TOWN HALL, 2231 AVENIDA DE MESILLA.

I. PLEDGE OF ALLEGIANCE

II. ROLL CALL AND DETERMINATION OF A QUORUM

Commission chair Hernandez and Commission Houston were absent. All other commissioners were present. A quorum was present. Commissioner Lucero was the acting chair.

III. CHANGES/APPROVAL OF THE AGENDA

Case 060850 was removed from the agenda since discussion did not take place during the Work Session. A motion to approve the agenda as amended was made by Commissioner Nevarez, seconded by Commissioner Prieto, and approved by a vote of 3 - 0.

IV. *ACCEPTANCE OF THE CONSENT AGENDA

Note: Items on the agenda indicated by an asterisk () are on the consent agenda and will be voted on with one motion unless a Commissioner requests that a specific item be removed for discussion.*

There were no changes to the Consent Agenda. A motion to approve the agenda as amended was made by Commissioner Prieto, seconded by Commissioner Nevarez, and approved by a vote of 3 - 0.

A. *PZHAC MINUTES – Meeting minutes of January 22, 2019.

Approved as part of the Consent Agenda

B. *ADMINISTRATIVE APPROVAL

Zoning Permits

- 1. Case 060839** – 2215 Calle de Guadalupe, submitted by Robert Hamilton; a request for a zoning permit to install a washer and dryer, tankless water heater, gas line, and bathroom door; and to repair an inside courtyard fence on a dwelling at this address. Zoned: Historical Residential (HR)

Approved as part of the Consent Agenda

V. PZHAC NEW BUSINESS:

A. PUBLIC INPUT ON CASES

Susan Krueger – Town Resident

Stated that during the work sessions, the Kanes had no knowledge of the Historic Preservation (Section 18.33) section of the Code and should not have been placed on the agenda. She also stated this for the proposal for the corner of Calle de Correo and Avenida de Mesilla, and that the Yguado checklist should be distributed to applicants. Susan also disputed the fact that the Dona Ana Historical Society recognized the Buckingham (Coleman) Residence, which was built in 1995, with a plaque citing the dwelling a “A building of significance for adherence to regional architectural style”.

B. CASES:

Work Session Decision Item:

1. Determination by the PZHAC as to the Historical Appropriateness of the dwelling proposed for the property at the southwest corner of Calle de Colon and Calle Tercera (address to be assigned). Zoned: Historical Residential (HR) (**Discussed during Work Session – Item 1**)
The PZHAC determined that the proposed residence would not be appropriate for the development zone of the property. Commissioner Prieto made a motion to direct the applicant to work with staff to develop a plan for a dwelling that would be appropriate for the area. This was seconded by Commissioner Nevarez and approved by a vote of 3- 0.

Zoning Permits

2. **Case 060833** – 207 Capri Arc, submitted by Albert and Dawn Stephens, a request for a zoning permit to allow the construction of a work shed/storage building in the rear yard of a property at this address. Zoned: Residential, Single Family (R-1)
Staff provided a brief review of this request. The PZHAC determined that there were no issues with the proposed window replacement as requested. A motion was made by Commissioner Nevarez to approve the request, seconded by Commissioner Prieto, and approved by a vote of 3 - 0.
3. **Case 060847** – 2424 Calle de Parian, submitted by Page Coleman; a request for a zoning permit to restucco a house, shed and a casita on a property at this address. Zoned: Historical Residential (HR)
Staff provided a brief review of this request. The PZHAC determined that there were no issues with the proposed window replacement as requested. A motion was made by Commissioner Prieto to approve the request, seconded by Commissioner Nevarez, and approved by a vote of 3 - 0.
4. **Case 060848** – Southwest corner of Calle de Correo and Avenida de Mesilla, submitted by Ruben Contreras for Brittany Bloch (“Black Rat Tattoo”), a request for a zoning permit to construct a small commercial building and a casita on a vacant property at this location. Zoned: Historical Commercial (HC)
This case was heard during the Work Session – Item 2)
Staff provided a brief review of this request, explaining that this case was heard during the Work Session. Commissioner Prieto determined that he would like to see more detailed renderings of the elevations of the structures. A motion was made by Commissioner Nevarez to postpone the case to allow the applicant to provide the PZHAC with more detailed elevations showing wood panels and the proposed colors of the structures. This was seconded by Commissioner Lucero and approved by a vote of 2 – 1. (Commissioner Nevarez voted against postponement.)
5. **Case 060849** – 2186 Calle de Guadalupe, submitted by Michael Clute; a request for a zoning permit to add wood slats to a rear porch to provide privacy at a dwelling located at the address. Zoned: Historical Residential (HR) (**This case was heard during the Work Session – Item 3**)
Staff provided a brief review of this request, explaining that this case was heard during the Work Session. The PZHAC determined that there were no issues with the proposed request. A motion was made by Commissioner Nevarez to approve the request, seconded by Commissioner Prieto, and approved by a vote of 3 - 0.
6. **Case 060850** – 2590 Calle de Colon, submitted by Daniel and Maxine Bustamantes; a request for a zoning permit to allow a stuccoed cinder block wall to be constructed at this address. Zoned: Historical Residential (HR) (**This case was heard during the Work Session – Item 4**)
This case was removed from the agenda.

Business Permits

7. **0764** – Southwest corner of Calle de Correo and Avenida de Mesilla, submitted by Brittany Bloch for “Black Rat Tattoo”; a request for a business license to allow the applicant to operate a tattoo parlor at this location. Zoned: Historical Commercial (HC) (**This case was heard during the Work Session – Part of Item 2**)
Staff provided a brief review of this request, explaining that this case was heard during the Work Session. The PZHAC determined that there were no issues with the proposed request. A motion was made by Commissioner Prieto to approve the request, seconded by Commissioner Nevarez, and approved by a vote of 3 - 0.

VI. PUBLIC COMMENTS

Susan Krueger – Town Resident

Referring to the fact that the Town now issues “zoning” permits instead of “building “ permits, stated that the Town Code does not mention “zoning” permits anywhere, therefore they are not defined by the Code and their use is not legal. She also stated that the PZHAC should be checking all construction for “Historic Appropriateness”.

VII. PZHAC/STAFF COMMENTS

Staff

As part of the CID permit process, CID requires that all projects that need to obtain a permit from CID must have a document from the Town showing that the project has met the Town’s zoning and other requirements. The purpose of the “zoning” permit is to provide legal documentation to CID that the Town’s Code requirements for development have been met.

VIII. ADJOURNMENT

The meeting was adjourned at 7:08 pm.

NOTICE

If you need an accommodation for a disability to enable you to fully participate in the hearing or meeting, please contact us at 524-3262 at least 48 hours prior to the meeting.

Posted on 2/14/19 at the following locations: Town Hall - 2231 Avenida de Mesilla; Public Safety Building - 2670 Calle de Parian; Mesilla Community Center - 2251 Calle de Santiago; Shorty’s Food Mart - 2290 Avenida de Mesilla; Ristramn Chile Co. - 2531 Avenida de Mesilla and the U.S. Post Office - 2253 Calle de Parian.

PZHAC NEW BUSINESS

MARCH 4, 2019

ADMINISTRATIVE APPROVALS

(PART OF CONSENT AGENDA)

**ADMINISTRATIVE APPROVAL
BUILDING PERMIT REQUEST CASE 060851
[PZHAC CONSENT AGENDA –3/4/2019]**

Item:

Case 060851 – 217 Capri Road, submitted by Arlene and Matthew Watson; a request for a zoning permit to reroof a dwelling at this address. Zoned: Residential, Single Family (R-1)

Description of Work Done:

The applicant will replace a damaged roof on a dwelling at this address. (The applicant has been informed that a permit and inspections from CID will also be necessary.) This is a reroof only and will not affect the heated/cooled area of the dwelling. The reason for the work is to repair damage to the roof caused by storms in the past year. The repairs will not change the style of the structure.

Consistency with the Code:

Since this is a repair that will not affect or change the appearance of the structure, according to the applicant; and since the work will not consist of any additions or changes to heated/cooled areas of the structure, the permit may be approved administratively. [(15.15.030(B) - **Application for building permit, Administrative Approval**).**Administrative Approval Permit** –“Applications that are minor repairs or maintenance and do not alter or create additions to structures (buildings), walls or any other permanent fixtures on site may be approved administratively by staff.... Once all required information is provided, the community development staff may approve and issue the permit.”]

PHOTO OF SUBJECT STRUCTURE FROM CAPRI ROAD



Doña Ana County, NM

General Reference Maps

2014 Aerial

Addresses

County Address Points

Maps

Legend

Map Themes

Parcels

UDC Zoning

Roads and Transportation

NM House Districts

NM Senate Districts

County Commission Districts

City Council Districts

Median Household Income

General Land Ownership

Account Number: [R0400790](#)

Parcel Number: 4007137226404

Owner: WATSON MATTHEW G &
ARLENE

Mail Address: 217 CAPRI RD

Subdivision: MESILLA PARK MANOR
PL 3C 622

Property Address: 217 CAPRI RD

Acres: 0.28030303



TOWN OF MESILLA
PERMISSION TO CONDUCT WORK
 OR
OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT

OFFICIAL USE ONLY

Case # 060851

Fee \$ 18.00

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88048 (505) 524-3262 ext. 304
 CASE NO. 060851 ZONE R-1 COUSE RR APPLICATION DATE 2/14/19

Applicant's Name Arlene Watson/Matt Watson Applicant's Telephone Number 575-6036-7491
 Applicant's Mailing Address 217 Capri Rd Las Cruces, NM 88005
 Applicant's Owner's Email Address Renewatonslawle@gmail.com

Contractor's Name & Address E & K Roofing Co Inc. (85-0324372)
 Contractor's Telephone Number 575 524 8153 Contractor's Tax ID Number 03-365781007
 Contractor's License Number 50600

Address of Proposed Work 217 Capri Rd.
 Description of Proposed Work tear down to decking - re-roof with shingles cedar anti-wood

Estimated Cost 49000
 Signature of Applicant [Signature] Date 2/14/2019

Signature of property owner if applicant is not the property owner: _____
 With the exception of administrative approvals, all permit requests must undergo a review process from staff, PCHAC and BOT before assistance of a building permit. Recorded proof of ownership with legal description of property (deed or current tax bill) along with verification of legally subdivided status of the property are required. Plans sheets are to be no larger than 11 x 17 inches.

FOR OFFICIAL USE ONLY

PCHAC: Approved Date: _____ BOT: Approved Date: _____
 Disapproved Date: _____ Disapproved Date: _____
 Approved with conditions Approved with Conditions

FIRE INSPECTION/APPROVAL REQUIRED: YES NO SEE CONDITIONS
 CID PERMIT/INSPECTION REQUIRED: YES NO SEE CONDITIONS

CONDITIONS: NO CHANGES TO APPEARANCE OF STRUCTURE
A CID PERMIT IS REQUIRED

PERMISSION: ISSUED DENIED BY [Signature] ISSUE DATE 2/15/19

- This Application will include the following, if checked:
1. Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was legally subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
 2. Site Plan with dimensions and details
 3. Proof of legal access to the property.
 4. Driveway plan
 5. Architectural style and color scheme - diagrams or elevations (Historical and commercial zones only).
 6. Proof of sewer service or a copy of septic tank permit; proof of water service (well paved or statement from the Public Utility providing water services).
 7. Other information as necessary or required by the City Code or Community Development.

**ADMINISTRATIVE APPROVAL
BUILDING PERMIT REQUEST CASE 060853
[PZHAC CONSENT AGENDA –3/4/2019]**

Item:

Case 060853 – 2043 Calle de Correo, submitted by Alison Tinsley; a request for a zoning permit to patch leaks in a roof at the back of dwelling at this address. Zoned: Historical Residential (HR)

Description of Work Done:

The applicant will repair a damaged roof on a dwelling at this address. (The applicant has been informed that a permit and inspections from CID will also be necessary.) This is a repair only and will not affect the heated/cooled area of the dwelling. The reason for the work is to repair damage to the roof caused by storms in the past year. The repairs will not change the style of the structure.

Consistency with the Code:

Since this is a repair that will not affect or change the appearance of the structure, according to the applicant; and since the work will not consist of any additions or changes to heated/cooled areas of the structure, the permit may be approved administratively. [(15.15.030(B) - **Application for building permit, Administrative Approval**).**Administrative Approval Permit** –“Applications that are minor repairs or maintenance and do not alter or create additions to structures (buildings), walls or any other permanent fixtures on site may be approved administratively by staff.... Once all required information is provided, the community development staff may approve and issue the permit.”]

PHOTO OF DWELLING FROM CALLE DE CORREO



Doña Ana County, NM

General Reference Maps

2014 Aerial

Addresses

County Address Points

Maps

Legend

Map Themes

Parcels

UDC Zoning

Roads and Transportation

NM House Districts

NM Senate Districts

County Commission Districts

City Council Districts

Median Household Income

General Land Ownership

Account Number: [R0400356](#)

Parcel Number: 4006137272479

Owner: BRAZITO LLC

Mail Address: PO BOX 5929

Subdivision:

Property Address: 2043 CALLE DE

CORREO

Acres: 0.08000459



TOWN OF MESILLA
 PERMISSION TO CONDUCT WORK
 OR
 OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT

OFFICIAL USE ONLY:

Case # 060853

Fee \$ 0.00

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 060853 ZONE: HR CODE: RR APPLICATION DATE: 2/19/19

Alison Tinsley 575-640-3764
 Name of Applicant/Owner Applicant's Telephone Number
2043 Calle de Correo (PO Box 664) Mesilla 88046
 Applicant's/Owner's Mailing Address City State Zip Code
aliantinsley48@gmail.com
 Applicant's/Owner's E-mail Address
self
 Contractor's Name & Address (If none, indicate Self)

Contractor's Telephone Number Contractor's Tax ID Number Contractor's License Number

Address of Proposed Work: 2043 Calle de Correo

Description of Proposed Work: patching leaks in roof betw on back of house

\$ 300.00
 Estimated Cost

Alison Tinsley
 Signature of Applicant

2/19/2019
 Date

Signature of property owner if applicant is not the property owner: _____

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and BOT before issuance of a building permit. Recorded proof of ownership with legal description of property (deed or current tax bill) along with verification of legally subdivided status of the property are required. **Plan sheets are to be no larger than 11 x 17 inches.**

FOR OFFICIAL USE ONLY

PZHAC Administrative Approval **BOT** Approved Date: _____
 Approved Date: _____ Disapproved Date: _____
 Disapproved Date: _____ Approved with Conditions
 Approved with conditions

FIRE INSPECTION/APPROVAL REQUIRED: ___ YES NO ___ SEE CONDITIONS

CID PERMIT/INSPECTION REQUIRED: ___ YES NO ___ SEE CONDITIONS

CONDITIONS: NO CHANGES TO APPEARANCE OF STRUCTURE

PERMISSION ISSUED / DENIED BY: Z. Shum ISSUE DATE: 2/19/19

This Application will include the following, if checked:

1. ___ Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was legally subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
2. ___ Site Plan with dimensions and details.
3. ___ Proof of legal access to the property.
4. ___ Drainage plan.
5. ___ Architectural style and color scheme – diagrams or elevations (Historical and commercial zones only).
6. ___ Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
7. ___ Other information as necessary or required by the City Code or Community Development:

**ADMINISTRATIVE APPROVAL
BUILDING PERMIT REQUEST CASE 060854
[PZHAC CONSENT AGENDA –3/4/2019]**

Item:

Case 060854 – 2825 Teresita Street, submitted by Larry and Michel Lytle; a request for a zoning permit to reroof a dwelling at this address. Zoned: Historical Residential (HR)

Description of Work Done:

The applicant will replace a damaged roof on a dwelling at this address. (The applicant has been informed that a permit and inspections from CID will also be necessary.) This is a reroof only and will not affect the heated/cooled area of the dwelling. The reason for the work is to repair damage to the roof caused by storms in the past year. The repairs will not change the style of the structure.

Consistency with the Code:

Since this is a repair that will not affect or change the appearance of the structure, according to the applicant; and since the work will not consist of any additions or changes to heated/cooled areas of the structure, the permit may be approved administratively. [(15.15.030(B) - **Application for building permit, Administrative Approval**).**Administrative Approval Permit** –“Applications that are minor repairs or maintenance and do not alter or create additions to structures (buildings), walls or any other permanent fixtures on site may be approved administratively by staff.... Once all required information is provided, the community development staff may approve and issue the permit.”]

PHOTO OF SUBJECT STRUCTURE FROM TERESITA STREET



Doña Ana County, NM

General Reference Maps

2014 Aerial

Addresses

County Address Points

Maps

Legend

Map Themes

Parcels

UDC Zoning

Roads and Transportation

NM House Districts

NM Senate Districts

County Commission Districts

City Council Districts

Median Household Income

General Land Ownership

Account Number: [R0401017](#)

Parcel Number: 4006137372497

Owner: HURST JAMES W &
ANNABELLE I

Mail Address: PO BOX 438

Subdivision: MESILLA FARMS
SUBDIVISION (BK 15 PG 389-390 -
8822094)

Property Address: 2825 TERESITA
ST

Acres: 0.20011478



CID
524-6320

TOWN OF MESILLA
PERMISSION TO CONDUCT WORK
OR
OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT

OFFICIAL USE ONLY:
Case # 060854
Fee \$ 39.00

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 060854 ZONE: NR CODE: RR APPLICATION DATE: 2/22/19

Name of Applicant/Owner Larry Michael Cyle Applicant's Telephone Number (575) 639-0955

Applicant's/Owner's Mailing Address 2825 Telegraph St. Mesilla City NR State 88046 Zip Code

Applicant's/Owner's E-mail Address nk

Contractor's Name & Address (If none, indicate Self) 618 St. Louis Road & Abaco Park

Contractor's Telephone Number (575) 648-2326 Contractor's Tax ID Number 461948788 Contractor's License Number 377887

Address of Proposed Work: _____

Description of Proposed Work: Re-roof

Estimated Cost \$ 19,482

Signature of Applicant [Signature]

Date 2-22-19

Signature of property owner if applicant is not the property owner: _____

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and BOT before issuance of a building permit. Recorded proof of ownership with legal description of property (deed or current tax bill) along with verification of legally subdivided status of the property are required. **Plan sheets are to be no larger than 11 x 17 inches.**

FOR OFFICIAL USE ONLY

PZHAC Administrative Approval Approved Date: _____
 Approved Date: _____ Disapproved Date: _____
 Disapproved Date: _____ Approved with Conditions
 Approved with conditions

FIRE INSPECTION/APPROVAL REQUIRED: ___ YES NO ___ SEE CONDITIONS

CID PERMIT/INSPECTION REQUIRED: YES ___ NO ___ SEE CONDITIONS

CONDITIONS: CID PERMIT REQUIRED
ZL

PERMISSION ISSUED DENIED BY: Z. Thomas ISSUE DATE: 2/22/19

This Application will include the following, if checked:

1. ___ Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was legally subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
2. ___ Site Plan with dimensions and details.
3. ___ Proof of legal access to the property.
4. ___ Drainage plan.
5. ___ Architectural style and color scheme – diagrams or elevations (Historical and commercial zones only).
6. ___ Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
7. ___ Other information as necessary or required by the City Code or Community Development:

**ADMINISTRATIVE APPROVAL
BUILDING PERMIT REQUEST CASE 060857
[PZHAC CONSENT AGENDA –3/4/2019]**

Item:

Case 060857 – 2168 Calle de los Huertos, submitted by Geronimo Garcia; a request for a zoning permit to allow the repair of an adobe wall on the corner of a dwelling at this address. Zoned: Historical Residential (HR)

Description of Work Done:

The purpose of this request is to allow the applicant to repair damage to the exterior corner of an adobe dwelling caused by an internal water leak. The wall will be repaired and painted to match the existing exterior color of the dwelling. There will be no structural or visual changes to any of the structures on the property.

Consistency with the Code:

Since this is a repair that will not affect or change the appearance of the structures on the property, according to the applicant; and since the work will not consist of any additions or changes to the structures, the permit may be approved administratively. [(15.15.030(B) - **Application for building permit, Administrative Approval, Administrative Approval Permit –“Applications that are minor repairs or maintenance and do not alter or create additions to structures (buildings), walls or any other permanent fixtures on site may be approved administratively by staff.... Once all required information is provided, the community development staff may approve and issue the permit.”**)]

PHOTO OF SUBJECT STRUCTURE FROM CALLE DE LOS HUERTOS



TOWN OF MESILLA
 PERMISSION TO CONDUCT WORK
 OR
 OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT

OFFICIAL USE ONLY:
 Case # 060857
 Fee \$ 0.00

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 060857 ZONE: M1 CODE: M1 APPLICATION DATE: 2/25/19

Genonimo Garcia 575-642-5635
 Name of Applicant/Owner Applicant's Telephone Number
P.O. Box 702 Mesilla NM 88046
 Applicant's/Owner's Mailing Address City State Zip Code
VSG0206@yahoo.com
 Applicant's/Owner's E-mail Address

Contractor's Name & Address (If none, indicate Self)

Contractor's Telephone Number Contractor's Tax ID Number Contractor's License Number

Address of Proposed Work: 2116 & Calle de los Huertos

Description of Proposed Work: repatch corner wall of house

\$ 0.00 Genonimo Garcia 2/25/2019
 Estimated Cost Signature of Applicant Date

Signature of property owner if applicant is not the property owner:

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and BOT before issuance of a building permit. Recorded proof of ownership with legal description of property (deed or current tax bill) along with verification of legally subdivided status of the property are required. **Plan sheets are to be no larger than 11 x 17 inches.**

FOR OFFICIAL USE ONLY

PZHAC Administrative Approval **BOT** Approved Date: _____
 Approved Date: _____ Disapproved Date: _____
 Disapproved Date: _____ Approved with Conditions
 Approved with conditions

FIRE INSPECTION/APPROVAL REQUIRED: ___ YES NO ___ SEE CONDITIONS

CID PERMIT/INSPECTION REQUIRED: ___ YES NO ___ SEE CONDITIONS

CONDITIONS: REPAIRS WILL USE EXISTING MATERIALS, NO CHANGES TO DWELLING (MINOR REPAIRS)

PERMISSION ISSUED DENIED BY: T. Shaver ISSUE DATE: 2/25/19

This Application will include the following, if checked:

1. ___ Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was **legally** subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
2. ___ Site Plan with dimensions and details.
3. ___ Proof of legal access to the property.
4. ___ Drainage plan.
5. ___ Architectural style and color scheme – diagrams or elevations (Historical and commercial zones only).
6. ___ Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
7. ___ Other information as necessary or required by the City Code or Community Development:

PZHAC NEW BUSINESS

MARCH 4, 2019

PZHAC DECISIONS

ZONING PERMITS

PZHAC ACTION FORM
ZONING PERMIT 060848
[PZHAC REVIEW – 3/4/2019]
STAFF ANALYSIS

(Decision to be based on information presented during the Work Session – Item 1)

Item:

Case 060848 – Southwest corner of Calle de Correo and Avenida de Mesilla, submitted by Ruben Contreras for Brittany Bloch (“Black Rat Tattoo”), a request for a zoning permit to construct a small commercial building and a casita on a vacant property at this location. Zoned: Historical Commercial (HC)

Staff Analysis:

The proposed commercial building and casita were discussed in the PZHAC Work Session held February 19. The case was postponed in order to allow the applicant to return to the PZHAC with revised plans for the structures. The new plans were discussed in the Work Session prior to this meeting. (Please refer to the information provided in the write-up for this item in the Work Session.)

If it is determined that the buildings will be acceptable for the property or the Town, or if an alternate solution is arrived at, then the request can proceed on the assumption that all requirements of the Code will be satisfied. The PZHAC should continue on to approve the request based on the Findings stated below.

If, on the other hand, it is determined that the proposed buildings will not be acceptable to the property or the Town, and no other solution can be reached, then the PZHAC should either postpone the request further until the applicant can return with a proposal that meets the standards set forth by the PZHAC; or the PZHAC should deny the request based on the request not meeting any or all of the Findings as listed.

Estimated Cost: @ \$137,000.00

Consistency with the Code:

The PZHAC will need to determine that the proposed buildings will be consistent with the zoning requirements for this property. Additionally, the PZHAC will also need to determine that the request, as submitted, is consistent with the all other sections of the **Building and Zoning Codes** that may be applied to this project.

Findings:

- The PZHAC has jurisdiction to review and approve this request.
- The proposed work consists of the construction of a small commercial building and a casita on a Historical Commercial property.
- The PZHAC has determined that the proposed work will meet all applicable Code requirements.

PZHAC OPTIONS:

1. Recommend approval of the requested zoning permit to the BOT.
2. Recommend approval of the requested zoning permit with conditions to the BOT.
3. Reject the permit.

PZHAC ACTION:

PZHAC ACTION FORM
ZONING PERMIT 060850
[PZHAC REVIEW – 3/4/2019]
STAFF ANALYSIS

(Decision to be based on information presented during the Work Session – Item 2)

Item:

Case 060850 – 2590 Calle de Colon, submitted by Daniel and Maxine Bustamantes; a request for a zoning permit to allow a stuccoed cinder block wall to be constructed at this address. Zoned: Historical Residential (HR)

Staff Analysis:

The proposed request was discussed in the PZHAC Work Session held prior to this meeting. (Please refer to the information provided in the write-up for this item in the Work Session.)

If it is determined that the proposed wall will be acceptable for the zoning of the property, or if an alternate solution is arrived at, then the request can proceed on the assumption that all requirements of the Code will be satisfied. The PZHAC should continue on to approve the request based on the Findings stated below.

If, on the other hand, it is determined that the proposed wall will not be acceptable to the zoning of the property, and no other solution can be reached, then the PZHAC should either postpone the request further until the applicant can return with a proposal that meets the standards set forth by the PZHAC; or the PZHAC should deny the request based on the request not meeting any or all of the Findings as listed.

Estimated Cost: @ \$6000.00

Consistency with the Code:

The PZHAC will need to determine that the proposed wall will be consistent with the zoning requirements for this property. Additionally, the PZHAC will also need to determine that the request, as submitted, is consistent with the all other sections of the **Building and Zoning Codes** that may be applied to this project.

Findings:

- The PZHAC has jurisdiction to review and approve this request.
- The proposed work consists of installation of a stuccoed concrete block wall on a residential property at 2590 Calle de Colon.
- The PZHAC has determined that the proposed work meets all applicable Code requirements.

PZHAC OPTIONS:

1. Recommend approval of the requested zoning permit to the BOT.
2. Recommend approval of the requested zoning permit with conditions to the BOT.
3. Reject the permit.

PZHAC ACTION:

PZHAC ACTION FORM
ZONING PERMIT 060852
[PZHAC REVIEW – 3/4/2019]
STAFF ANALYSIS

(Decision to be based on information presented during the Work Session – Item 3)

Item:

Case 060852 – 2195 Calle del Norte, submitted by Jorge Larrazabal; a request for a zoning permit to allow the construction of a 30 foot by 16 foot steel carport with a partially enclosed storage unit on this property. Zoned: Historical Residential (HR)

Staff Analysis:

The proposed request was discussed in the PZHAC Work Session held prior to this meeting. (Please refer to the information provided in the write-up for this item in the Work Session.)

If it is determined that the proposed carport and storage structure will be acceptable for the zoning of the property, or if an alternate solution is arrived at, then the request can proceed on the assumption that all requirements of the Code will be satisfied. The PZHAC should continue on to approve the request based on the Findings stated below.

If, on the other hand, it is determined that the proposed carport and storage structure will not be acceptable to the zoning of the property, and no other solution can be reached, then the PZHAC should either postpone the request further until the applicant can return with a proposal that meets the standards set forth by the PZHAC; or the PZHAC should deny the request based on the request not meeting any or all of the Findings as listed.

Estimated Cost: @ \$8000.00

Consistency with the Code:

The PZHAC will need to determine that the proposed carport and storage structure will be consistent with the zoning requirements for this property. Additionally, the PZHAC will also need to determine that the request, as submitted, is consistent with the all other sections of the **Building and Zoning Codes** that may be applied to this project.

Findings:

- The PZHAC has jurisdiction to review and approve this request.
- The proposed work consists of installation of a s carport and storage structure on a residential property at 2195 Calle del Norte
- The PZHAC has determined that the proposed work meets all applicable Code requirements.

PZHAC OPTIONS:

1. Recommend approval of the requested zoning permit to the BOT.
2. Recommend approval of the requested zoning permit with conditions to the BOT.
3. Reject the permit.

PZHAC ACTION:

PZHAC ACTION FORM
ZONING PERMIT 060855
[PZHAC REVIEW – 3/4/2019]
STAFF ANALYSIS

(Decision to be based on information presented during the Work Session – Item 4)

Item:

Case 060855 - Cielo Grande Court (Lot 8), submitted by Zach Penn; a request for a zoning permit to allow the construction of a 75 foot by 50 foot metal and stucco storage building on a residential property at this location. Zoned: Rural Farm (RF)

Staff Analysis:

The proposed request was discussed in the PZHAC Work Session held prior to this meeting. (Please refer to the information provided in the write-up for this item in the Work Session.)

If it is determined that the proposed metal and stucco storage building will be acceptable for the zoning of the property, or if an alternate solution is arrived at, then the request can proceed on the assumption that all requirements of the Code will be satisfied. The PZHAC should continue on to approve the request based on the Findings stated below.

If, on the other hand, it is determined that the proposed metal and stucco storage building will not be acceptable to the zoning of the property, and no other solution can be reached, then the PZHAC should either postpone the request further until the applicant can return with a proposal that meets the standards set forth by the PZHAC; or the PZHAC should deny the request based on the request not meeting any or all of the Findings as listed.

Estimated Cost: @ \$50,000.00

Consistency with the Code:

The PZHAC will need to determine that the proposed storage building will be consistent with the zoning requirements for this property. Additionally, the PZHAC will also need to determine that the request, as submitted, is consistent with the all other sections of the **Building and Zoning Codes** that may be applied to this project.

Findings:

- The PZHAC has jurisdiction to review and approve this request.
- The proposed work consists of installation of a metal and stucco storage building on a residential property at Lot 8 of Cielo Grande Court.
- The PZHAC has determined that the proposed work meets all applicable Code requirements.

PZHAC OPTIONS:

1. Approve the request.
2. Approve the request with conditions.
3. Reject the permit.

PZHAC ACTION:

PZHAC ACTION FORM
BUILDING PERMIT 060856
[PZHAC REVIEW – 3/4/19]
STAFF ANALYSIS

Item:

Case 060856 – 2755 Boldt Street, submitted by Daniel J Jones and Teresa Griffith; a request for a zoning permit to allow the repainting of the trim on a dwelling at this address. Zoned: Historical Residential (HR)

Summary of Request:

The property is located in the Mesilla Farms Subdivision. Although dwellings in this subdivision are not in the Historical Register for the Town, the subdivision is subject to the restrictions of the Historical district. These restrictions include limits on house and trim colors. The dwelling and trim are currently painted one color (see attached photo). The applicant would like to add a little “interest” to the dwelling by painting the trim around the dwelling, windows, and doors a slightly darker color to add some contrast to the appearance of the dwelling. (The applicant would like to use the two trim colors around the windows and the garage door.) There will be no other changes to the dwelling.

Photos of the dwelling are attached. The colors chosen for the trim are very similar (or identical) to colors in the catalog of acceptable colors for the Town (see attached colors and color chart). Since the dwelling is in a Historic zoning district, the following section of the Code applies:

18.33.080 Historical appropriateness permit.

A. Identification. A permit for a certificate of historical appropriateness shall be required before any of the following actions or work is undertaken: new construction, exterior alteration, demolition or removal. All work or acts of new construction or exterior alteration requiring a permit for a certificate of appropriateness shall comply with the design criteria established by the precedent styles within the development zone of the proposed work.

Estimated Cost: @ 200.00

Consistency with the Code:

The PZHAC will need to determine that the colors proposed for the trim will be consistent with the color of neighboring dwellings in the HR zoning district. Additionally, the PZHAC will need to determine that the request meets all other development and application requirements of the Code.

The PZHAC will also need to determine that the request, as submitted, is consistent with the all other sections of the **Building and Zoning Codes** that may be applied to this project.

Findings:

- The PZHAC has jurisdiction to review and approve this request.
- The proposed work consists of repainting of the trim on a dwelling at this address.
- The PZHAC has determined that the proposed color meets all applicable Code requirements.

PZHAC OPTIONS:

1. Recommend approval of the requested building permit to the BOT.
2. Recommend approval of the requested building permit to the BOT with conditions.
3. Reject the permit.

PZHAC ACTION:

PHOTO OF DWELLING FROM BOLDT STREET



Doña Ana County, NM

General Reference Maps

2014 Aerial

Addresses

County Address Points

Maps

Legend

Map Themes

Parcels

UDC Zoning

Roads and Transportation

NM House Districts

NM Senate Districts

County Commission Districts

City Council Districts

Median Household Income

General Land Ownership

Account Number: [R0401046](#)

Parcel Number: 4006137390458

Owner: JONES DANIEL J

Mail Address: 2755 BOLDT ST

Subdivision: MESILLA FARMS
SUBDIVISION (BK 15 PG 389-390 -
8822094)

Property Address: 2755 BOLDT ST

Acres: 0.22490817



CLOSE-UP OF WINDOW FROM BOLDT STREET SHOWING TRIM



CLOSE-UP OF GARAGE FROM BOLDT STREET SHOWING TRIM



PROPOSED TRIM COLORS



ALLOWED TRIM COLORS



TOWN OF MESILLA
 PERMISSION TO CONDUCT WORK
 OR

OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT

OFFICIAL USE ONLY:

Case # 060856

Fee \$ 0.00

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 060856 ZONE: HR CODE: M1 APPLICATION DATE: 2/25/19

Daniel J. Jones (Teresa Griffith) 740-350-6418 Dan 740-350-8440 Teresa
 Name of Applicant/Owner Applicant's Telephone Number
P.O. Box 1410 Mesilla Park NM 88047
 Applicant's/Owner's Mailing Address City State Zip Code
dannyjones@suddenlink.net tagriffithhome@gmail.com
 Applicant's/Owner's E-mail Address
Self
 Contractor's Name & Address (If none, indicate Self)

Contractor's Telephone Number Contractor's Tax ID Number Contractor's License Number

Address of Proposed Work: 2755 Boldt Street Mesilla Farms Subdivision

Description of Proposed Work: House has been recently painted ^{by previous owner} we are not repainting house. Trim only to be painted. Trim colors attached.

\$ 100.00/xx Teresa A Griffith Feb 25, 2019
 Estimated Cost Signature of Applicant Date

Signature of property owner if applicant is not the property owner: Daniel Jones

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and BOT before issuance of a building permit. Recorded proof of ownership with legal description of property (deed or current tax bill) along with verification of legally subdivided status of the property are required. **Plan sheets are to be no larger than 11 x 17 inches.**

FOR OFFICIAL USE ONLY

PZHAC Administrative Approval **BOT** Approved Date: _____
 Approved Date: _____ Disapproved Date: _____
 Disapproved Date: _____ Approved with Conditions
 Approved with conditions

FIRE INSPECTION/APPROVAL REQUIRED: ___ YES NO ___ SEE CONDITIONS

CID PERMIT/INSPECTION REQUIRED: ___ YES NO ___ SEE CONDITIONS

CONDITIONS: REVIEW BY PZHAC & FINAL APPROVAL BY BOT REQUIRED

PERMISSION ISSUED/DENIED BY: _____ ISSUE DATE: _____

This Application will include the following, if checked:

1. ___ Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was legally subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
2. ___ Site Plan with dimensions and details.
3. ___ Proof of legal access to the property.
4. ___ Drainage plan.
5. ___ Architectural style and color scheme – diagrams or elevations (Historical and commercial zones only).
6. ___ Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
7. ___ Other information as necessary or required by the City Code or Community Development:

PZHAC NEW BUSINESS

MARCH 4, 2019

PZHAC DECISIONS

BUSINESS REGISTRATIONS

PZHAC ACTION FORM
BUSINESS REGISTRATION REQUEST 0766
[PZHAC REVIEW – 3/4/19]

STAFF ANALYSIS

Item:

Permit 0766 – 2305 Calle de Colon, submitted by Gerard Nevarez; a request for a business license to allow the applicant to operate a Human Resources (HR/EEO) consulting business (“JerryCo Services”) as a home occupation at this address. Zoned: Historical Residential (HR).

Description of Business:

The purpose of the application is to allow the applicant to use part of the dwelling at this address as an office for a consulting business. Research will be done over the internet, and the final product will be information and data available to clients over the internet or by e-mail. There will be no customers or vendors coming to the property. The applicant will continue to use the dwelling as his primary occupancy.

Consistency with the Code:

The proposed home occupation meets the requirements of Section 18.52.030 Home Occupations-General Conditions of the Code, which also allows Home Occupations in HR zones.

Findings:

- The PZHAC has jurisdiction to review and approve this request.
- The proposed business will not result in any changes to the residential character of the property.
- This is a use that is allowed by the MTC in the HR zoning district.
- The proposed use will not create any negative impacts to the area.

PZHAC OPTIONS:

- Approve the application.
- Approve the application with conditions.
- Reject the application.

PZHAC ACTION:

PHOTO OF DWELLING FROM CALLE DE COLON



Doña Ana County, NM

General Reference Maps

2014 Aerial

Addresses

County Address Points

Maps

Legend

Map Themes

Parcels

UDC Zoning

Roads and Transportation

NM House Districts

NM Senate Districts

County Commission Districts

City Council Districts

Median Household Income

General Land Ownership

Account Number: [R0400572](#)

Parcel Number: 4006138208035

Owner: NEVAREZ GERARD R

Mail Address: PO BOX 1102

Subdivision:

Property Address: 2305 CALLE DE

COLON

Acres: 0.21999541





Date: 02.05.19

2231 Avenida de Mesilla
P.O. Box 10
Mesilla, NM 88046

No.: 0766

Phone: (505) 524-3262 Fax: (505) 541-6327

Business Registration Application

Note: A separate business registration application form should be completed for each business location.

PLEASE PRINT

Business Registration Application Is: New Renewal

Name of Business: JerryCo Services

Name of Applicant: Gerard Nevarcz

Business Location: 2305 Calle de Colon

Mailing Address (Street # or P.O. Box): PO Box 1102 Mesilla 88046

E-Mail Address: mesillaj3@aol.com

City: Mesilla State: NM Zip Code: 88046

Phone # of Business: 575-642-3938

Business Owner's/Applicant's Address:

Street 2305 Calle de Colon

City: Mesilla State: NM Zip Code: 88046

Property Owner Name: Same

Phone # of Property Owner: _____

Property Owner's Address: Street _____

City: _____ State: _____ Zip Code: _____

Additional Information

Square Footage of Business: N/A

Number of Employees: N/A

Number of Parking Spaces: N/A

Zoning Code: HR

Parking Assessment: N/A *Please fill in other side>>>>*

Type of Business -please describe product(s) and/or service(s): HR/EEO Consulting

Business Applicant Is: Sole Proprietorship Partnership Corporation

Current New Mexico Revenue Division ID #: CRS#03-034204-00-0
(The location code for reporting earnings received in the Town of Mesilla is 07-303.)

EMERGENCY CONTACT INFORMATION		
Responsible party to be called in case of emergency. Enter name in order of contact (please print):		
24 HOUR EMERGENCY PHONE #: _____		
Name	Address	Telephone #
1. _____	_____	_____
2. _____	_____	_____
3. _____	_____	_____
Do you have an alarm system? Yes <input type="checkbox"/> No <input type="checkbox"/>		
What Type? _____		
Which Company, if any, Responds to Alarms? _____		

APPLICANT HEREBY STATES UNDER OATH THAT ALL STATEMENTS AND REPRESENTATIONS MADE IN THIS APPLICATION ARE TRUE AND VALID.

[Signature]
Signature of Applicant/Title

02.05.19
Date

Signature of Building Owner

Date

Office Use	
Receipt Number: _____	Date of Payment: _____
Case Number: <u>0766</u>	Zone: <u>HR</u>
PZHAC Approval Date: <u>-</u>	Bus. Type: <u>HO</u>
Sign Permit Case #: <u>N/A</u>	Renewal Date: <u>3/15/2020</u>

Fire Department Inspection Verification

Fire Department Representative Signature: _____
Fire Inspection Date: _____
Approved: Yes No