



**PZHAC WORK SESSION
AGENDA
MARCH 18, 2019**

THE PLANNING, ZONING AND HISTORICAL APPROPRIATENESS COMMISSION (PZHAC) WILL HOLD A WORK SESSION, MONDAY, MARCH 18, 2019 AT 5:00 P.M. IN THE BOARD ROOM OF THE MESILLA TOWN HALL, 2231 AVENIDA DE MESILLA.

Item 1: Submitted by Jessica Kane, a request to discuss plans to construct a dwelling on a vacant residential property located at the southwest corner of Calle de Colon and Calle Tercera (address to be assigned). Zoned: Historical Residential (HR)

Item 2: Submitted by Jorge Larrazabal; a request to discuss plans to construct a 30 foot by 16 foot steel carport with a partially enclosed storage unit on a residential property at 2195 Calle del Norte. **(Case 060852)** Zoned: Historical Residential (HR)

Item 3: Submitted by Catherine Martinez and Linda Montoya; a request to discuss plans to replace a metal wire fence around a residential property at 1000 West University Avenue. **(Case 060861)** Zoned: Rural Farm (RF)

Item 4: Submitted by Jake Quinones of Quinones Design/Build for Emilie Cano; a request to discuss plans to repair the adobe walls and roof on a dwelling at 2206 Avenida de Mesilla. **(Case 060862)** Zoned: Historical Commercial (HC)

Item 5: Submitted by Conrad Estrada of Images N'Iron for Little Fawn Boland; a request to discuss a modification to a permit approved 1/16/18 to allow gates to be installed on a front wall of a dwelling at 2196 Calle de San Albino. **(Case 060653)** Zoned: Historical Residential (HR)

**PZHAC REGULAR MEETING
AGENDA
MARCH 18, 2019**

THE PLANNING, ZONING AND HISTORICAL APPROPRIATENESS COMMISSION (PZHAC) WILL HOLD ITS REGULARLY SCHEDULED MEETING MONDAY, MARCH 18, 2019 AT 6:00 P.M. IN THE BOARD ROOM OF THE MESILLA TOWN HALL, 2231 AVENIDA DE MESILLA.

I. PLEDGE OF ALLEGIANCE

II. ROLL CALL AND DETERMINATION OF A QUORUM

III. CHANGES/APPROVAL OF THE AGENDA

IV. *ACCEPTANCE OF THE CONSENT AGENDA

Note: Items on the agenda indicated by an asterisk () are on the consent agenda and will be voted on with one motion unless a Commissioner requests that a specific item be removed for discussion.*

A. *PZHAC MINUTES – Meeting minutes of March 4, 2019.

B. *ADMINISTRATIVE APPROVAL

Zoning Permits

- 1. Case 060860 – 2090 Snow Road, submitted by Main Electrical for John Knopp; a request for a zoning permit to allow the electric system for a dwelling at this address to be upgraded to allow installation of a heat exchanger.. Zoned: Residential Farming (RF)**

V. PZHAC NEW BUSINESS:

A. PUBLIC INPUT ON CASES

B. CASES:

Work Session Decision Item:

1. Determination by the PZHAC as to the Historical Appropriateness of a proposed dwelling on a property at the southwest corner of Calle de Colon and Calle Tercera (address to be assigned). Zoned: Historical Residential (HR) (Discussed during Work Session – Item 1)

Zoning Permits

2. **Case 060852** – 2195 Calle del Norte, submitted by Jorge Larrazabal; a request for a zoning permit to allow the construction of a 30 foot by 16 foot steel carport with a partially enclosed storage unit on this property. Zoned: Historical Residential (HR) **This case was heard during the Work Session – Item 2)**
3. **Case 060861** – 1000 West University Avenue, submitted by Catherine Martinez and Linda Montoya; a request for a zoning permit to replace a metal wire fence around the residential property at this address. Zoned: Rural Farm (RF) **(This case was heard during the Work Session – Item 3)**
4. **Case 060862** – 2206 Avenida de Mesilla, submitted by Jake Quinones of Quinones Design/Build for Emilie Cano; a request for a zoning permit to allow the repair of the adobe walls and roof on a dwelling at 2206 Avenida de Mesilla. Zoned: Historical Commercial (HC) **(This case was heard during the Work Session – Item 4)**
5. **Case 060653** – 2196 Calle de Medanos, submitted by Conrad Estrada of Images N’Iron for Little Fawn Boland; a request to modify an approved zoning permit to allow the installation of gates on the front wall of a dwelling at this address. Zoned: Historical Residential (HR) **(This case was heard during the Work Session – Item 5)**
6. **Case 060863** – 2417 & 2419 Calle de Parian, submitted by Davie and Kelly Salas; a request for a zoning permit to allow the construction of short latia privacy fences on patios attached to the two dwellings at the rear of these properties. Zoned: Historical Residential (HR)

VI. PUBLIC COMMENTS

VII. PZHAC/STAFF COMMENTS

VIII. ADJOURNMENT

NOTICE

If you need an accommodation for a disability to enable you to fully participate in the hearing or meeting, please contact us at 524-3262 at least 48 hours prior to the meeting.

Posted on 3/14/19 at the following locations: Town Hall - 2231 Avenida de Mesilla; Public Safety Building - 2670 Calle de Parian; Mesilla Community Center - 2251 Calle de Santiago; Shorty’s Food Mart - 2290 Avenida de Mesilla; Ristramnn Chile Co. - 2531 Avenida de Mesilla and the U.S. Post Office - 2253 Calle de Parian.

PZHAC NEW BUSINESS

MARCH 18, 2019

WORK SESSION

**PZHAC WORK SESSION
MARCH 18, 2019
ITEM 1**

Submitted by Jessica Kane, a request to discuss plans to construct a dwelling on a vacant residential property located at the southwest corner of Calle de Colon and Calle Tercera (address to be assigned). Zoned: Historical Residential (HR)

This proposal was originally heard at the February 19, 2019 PZHAC work session and meeting, but was postponed in order to allow the applicant to provide the PZHAC with drawings or elevations that would show a better perspective of how the proposed dwelling would fit in with the surrounding properties. The new drawings are attached. (The original plans have not been substantially changed.) Additionally, the applicant has filled out a copy of the “Architectural Style and Standards” questionnaire, but has not submitted it to staff at this time.

The applicant would like to construct a 5000 square foot two story dwelling on the residential property at this location. There will be about 4400 square feet of heated/cooled area plus garage space on the ground floor and about 3400 square feet of living area on the second floor. Section 18.60.170 of the Code requires three off street parking spaces for three cars. The garage will hold three cars. There is additional parking available on the Calle Tercera side of the property.

The property, which is 0.42 acres (18,295 square feet) in size, is a vacant lot surrounded by developed lots that are typically about 0.25 or acres in size or smaller. There are several larger lots further away, but these lots are either landlocked or are used for agriculture and are not developed. The developed properties are mostly occupied by one or two family single story dwellings that are typically less than 1500 square feet per dwelling. There are four two story dwellings in the immediate area, but two of these (2360 Calle de Colon) are smaller than 1300 square feet, one (2670 Calle Segunda) is about 2600 square feet, and one (2631 Calle Tercera) is about 4000 square feet. The dwelling at 2631 Calle Tercera was built in the 1940's, according to the Historic Register, and is not architecturally compatible with the area (see attached description from the Historical Register). The structures on the other two properties do not appear in the Historical Register, and appear to have been built after the inventory of historical structures was conducted. There are no construction records on file for them. A similar two story dwelling is located on Calle del Oeste, but this is at the edge of the zoning district and was built in a different development zone and is not in the development zone for this property.

The applicant has stated that the style of the dwelling is designed to fit in with the surrounding properties, and that it was designed in accordance with one of the five styles found in the Yguado Plan (see attached). Those properties that are in the development zone and are in the Historic Register or have been built or modified since the new architectural standards have been in place (about 1980) appear to be more “Pueblo” in style, and are typically about 1500 square feet or smaller. The applicant was informed by staff that it could be possible to build a large dwelling on the property that generally fits in with the character of the neighborhood (see photos of 2350 and 2371 Calle de Parian), but it could be difficult given that the subject property is a corner lot. This is because it would be difficult to hide the “mass” of the structure, which is one of the architectural elements (proportion) addressed by the Code.

Attached is a site plan of the property, along with a proposed elevation (see attached). According to the applicant, the color of the dwelling will be compatible with the surrounding area.

Attached are photos of dwellings on other properties in the area. The PZHAC will need to determine if the style of the proposed dwelling is compatible with the development zone for the property. Since this construction is in a Historic zoning district, the following sections of the Code apply:

18.33.060 Development zone.

A development zone defines the immediate physical vicinity to be used to identify the historic character of a particular area and includes the predominant architectural style and design standards of existing structures together with their setting.

18.33.080 Historical appropriateness permit.

A. Identification. A permit for a certificate of historical appropriateness shall be required before any of the following actions or work is undertaken: new construction, exterior alteration, demolition or removal. All work or acts of new construction or exterior alteration requiring a permit for a certificate of appropriateness shall comply with the design criteria established by the precedent styles within the development zone of the proposed work.

The applicant would like to have the proposed style reviewed by the PZHAC at this time in order to obtain input from the PZHAC as to what is acceptable for the property, and if the proposed design is, or could be made acceptable.

The applicant will be present at the work session to provide further details about the proposed construction, and will be available to answer any questions that may arise.

PHOTO OF THE SUBJECT PROPERTY SHOWING THE TWO STORY DWELLINGS TO THE NORTH



Doña Ana County, NM

General Reference Maps

2014 Aerial

Addresses

County Address Points

Select S

Maps

Legend

Map Themes

Parcels

UDC Zoning

Roads and Transportation

NM House Districts

NM Senate Districts

County Commission Districts

City Council Districts

Median Household Income

General Land Ownership

Account Number: [R0400538](#)

Parcel Number: 4006138182056

Owner: KANE SAMUEL I

Mail Address: PO BOX 849

Subdivision: SOUTHWEST ADDITION
TO MESILLA 201

Property Address: CALLE TERCERA

Acres: 0





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Image Landsat / Copernicus

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Image Landsat / Copernicus
© 2018 INEGI

Google Earth

EXAMPLE OF SIDE PORCH AREA STYLE



EXAMPLE OF CIRCULAR DRIVE



COLOR TO BE USED



ALLOWED DWELLING COLORS



102 CAMEO



100 COLONIAL WHITE



212 MADERA



90 CANDLELIGHT



127 HACIENDA



128 CREAM



129 IVORY



197 LA MORENA



30 SOAPSTONE



117 FAWN



119 PALOMINO



101 NAVAJO WHITE



121 SANDALWOOD



122 STRAW



106 BUCKSKIN



108 KOKANEE



103 SAND



107 DENIM



135 SAHARA



116 ADOBE



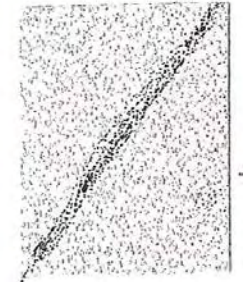
118 SUEDE



105 BAMBOO



110 ASH



80 SOFT ROSE



115 COTTONWOOD



114 DESERT ROSE



130 PUEBLO



125 LA LUZ



124 CORAL



113 DOVE GRAY

ARCHITECTURAL STYLES AND STANDARDS

18.33.170 Appendix A – Design standards with compliance checklist for the following architectural styles: Spanish Pueblo, Territorial, Spanish Mission, Northern New Mexico and Ranch Style.

Each style and its design standards with compliance checklist are listed below with instructions for completing the checklist. The styles appear on separate pages for ease in copying for individual use.

SPANISH PUEBLO

Design standards with compliance checklist for the Spanish Pueblo architectural style.

When completing a checklist, applicants shall circle all the components within individual items that apply to their application and annotate their responses as needed. If a component is not required and does not apply to the application, it should be marked “n/a.”

A “1” in parentheses after a component indicates that staff will figure an appropriate range for proportion or size, location or number, etc., based on the development zone of the structure. Drawings and photographs to further illustrate components are available in the community development office.

| | COMPLIANCE | |
|---|-------------------|-----------|
| | YES | NO |
| Design Components | | |
| Building Height: One or two stories, to be determined by development zone. | _____ | _____ |
| Setback: For commercial usage, can be built to property line; for residential, meets prevailing setback in the development zone. | _____ | _____ |
| Proportion, relationship of height to length: Buildings are long and low (1). | _____ | _____ |
| In the case of a two-story application of this style, the second level occurs over only a portion of the lower level. | _____ | _____ |
| The overall proportion of the building is dependent in part on the height of the firewall or parapet which is a continuation of the exterior walls extending beyond the roof line on three or more sides (1). | _____ | _____ |
| Walls, historically, are reduced in thickness towards the top to form a battered silhouette. | _____ | _____ |
| Portales or porches, if used, create a lower profile than the basic building (1). | _____ | _____ |
| The character of the building’s shapes is rounded or softened without sharp lines. | _____ | _____ |
| Pattern and Rhythm | | |
| Solid wall space is greater in any facade than window and door space combined (1). | _____ | _____ |
| Window and door openings are small and randomly, not symmetrically, placed on the facades. | _____ | _____ |
| Window heights from grade are uneven. | _____ | _____ |
| Canales, or drainspouts, pierce the parapet and are spaced in an uneven pattern as required for drainage. | _____ | _____ |

| | Number | Proportion | Size |
|----------------|--------|------------|------|
| Doors | _____ | | |
| Windows | _____ | | |
| Gates | _____ | | |
| Walls | _____ | | |

SPANISH PUEBLO (CON'T.)

Roof Type

Flat with a slight slope for drainage. _____

Parapet or firewall: roofs are surrounded on at least three sides by a parapet or firewall. _____

Surface Texture of Walls

Mud plaster. Hard plaster, smoothly applied, is acceptable. _____

Color

Exterior walls must be of a same single color. Acceptable colors are those of natural adobe, ranging from a light earth color to a dark earth color. Flat white is also acceptable. (See color charts) _____

The protected space under portales may be painted white or a contrasting color or a mural may be used. _____

Site Utilization

Follows development zone. Historically, examples of this style are seen most often in a rural setting or with setbacks if sited in an urban location. _____

Projections and Cavities

Historically, windows are usually deep set defining, from the exterior, the wall thickness. _____

Wall heights vary according to room shapes or additions. _____

Buttresses, fireplace outlines and chimneys are massive and important facade elements. _____

Vigas, or beams, round or rectilinear, sometimes project through exterior walls or are sometimes cut flush with the unplastered adobe walls and plastered over for protection. _____

Architectural Details

Wood trim is minimal around window and door openings with a rounding of the wall creating a transition from wall surface to window surface. _____

Canales are built up of saw timber, hollowed out from logs, or sheet metal bent to shape, or ceramic pipe sections or other materials as long as they are encased in one of the above materials. _____

Lintels above windows and door openings are exposed wood. _____

Portales or covered porches, either inset or projecting, have posts of round logs capped with a corbel and square beams. _____

(The rest of this page is left blank intentionally) _____

TERRITORIAL

Design standards with compliance checklist for the Territorial architectural style.

When completing a checklist, applicants shall circle all the components within items that apply to their application and annotate their responses as needed. If a component is not required and does not apply to the application, it should be marked "n/a."

A "1" in parentheses after a component indicates that staff will figure an appropriate range for proportion or size, location or number, etc., based on the development zone of the structure. Drawings and photographs to further illustrate components are available in the community development office.

COMPLIANCE

YES NO

Design Components

Building Height: Usually one story; however, each case will be determined individually by the development zone.

Setback: Varies according to the development zone. Historically, in urban/commercial settings, territorial buildings were built on or close to the property line with front facades occupying the entire lot frontage and entrances directly off the street. In rural residential settings, territorial buildings generally have large front yard setbacks.

Proportion, relationship of height to length. Buildings are long and low in proportion (1).

Historically, walls are usually two feet thick, but are sometimes two feet six inches thick to three feet in proportion to wall heights.

The overall proportion of the building is dependent in part on the height of a firewall or parapet, which is a continuation of exterior walls extending beyond the roof line on three or more sides (1).

Portales or porches, if used, create a lower profile than the basic building.

Pattern and Rhythm

Solid wall space is always greater in any facade than window and door space combined (1).

Window placement on facades is regular and below center.

Windows are of larger size with multi-paned glazing of individual panes no larger than 30 square inches (1).

Canales or drainspouts are evenly spaced along the facades and, historically, are more fine and precise in appearance than those used in the Spanish Pueblo style.

Number Proportion Size

Doors

Windows

Gates

Walls

COMPLIANCE

YES NO

Roof Type

Flat with a slight slope for drainage.

Parapet or firewall: roofs are surrounded on at least three sides by a parapet or firewall.

COMPLIANCE

YES NO

TERRITORIAL (CON'T.)

Surface Texture

Construction is of adobe but may be built of other materials simulating adobe. _____

Walls are sharp edged with abrupt changes of wall direction. _____

Walls, historically, are covered with mud plaster. Hard plaster or stucco, smoothly applied, colored or painted the color of natural adobe is acceptable. _____

Color

Color may range from dark to light earth color. Flat white may also be used. In protected spaces under portales, white or a contrasting color or mural may be used. (See color chart) _____

Site Utilization

Determined by development zone, size of site and intended use.

In areas of more dense development, high walls along with buildings set on the property line are used to enclose the lot for privacy and environmental protection. _____

Projections and Cavities

Canales, or drainspouts, pierce the firewalls at the roofline to provide drainage. _____

Windows are set flush with outside wall surfaces. _____

Doorways are either flush or slightly recessed in the exterior walls. _____

Portales, either inset or projecting, are light in effect, built of milled lumber of a scale and detail consistent with other wood elements of the building. _____

Vigas do not usually project from exterior walls, although in the case of buildings of adobe that have been altered to achieve the territorial style, projecting or partially exposed vigas occur. _____

Architectural Details

Firewalls are usually capped with a coping of fired brick or masonry. Sometimes the coping was added to a basic adobe building along with other details to achieve the style. _____

Door and window openings are framed with milled wood in an American Colonial (Greek Revival) design. _____

Doors are usually colonial but heavy paneled Spanish doors or appliqued doors are acceptable. _____

Structural lintels above windows and door openings are not exposed. _____

Metal or wood shutters are often used in conjunction with glazed windows. _____

Portales should be built with a parapet, capped or not, as has the basic building. _____

Buttresses, fireplace outlines and chimneys are usually not important facade elements. _____
(The rest of this page is left blank intentionally)

SPANISH MISSION

Design standards with compliance checklist for the Spanish Mission architectural style.

When completing a checklist, applicants shall circle all the components within items that apply to their application and annotate their responses as needed. If a component is not required and does not apply to the application, it should be marked "n/a."

A "1" in parentheses after a component indicates that staff will figure an appropriate range for proportion or size, location or number, etc., based on the development zone of the structure. Drawings and photographs to further illustrate components are available in the community development office.

COMPLIANCE

YES NO

Design Components

Building Height: To be determined by the development zone on a case-by-case basis. Historically, one or two stories with a vertical facade. In some cases the verticality is achieved primarily by the use of a false facade.

Setback: In commercial usage, the building is sited on the front property line without setbacks. In residential usage, the buildings are sited with front, side and back yards.

Proportion: The use of facade design elements suggesting towers and belfries creates a verticality of a kind not evident in the other styles in Mesilla. This verticality is illustrated by the commercial buildings. In residential usage this verticality is implied rather than physically stated.

Pattern and Rhythm

Building surfaces are broken by applied or constructed openings.

The arched tower and belfry opening is repeated in the design of door and window openings.

In general, there are large areas of solid wall surfaces in relation to the openings created by windows and doors (1).

Roof lines simulate the tower and belfry outline.

| | Number | Proportion | Size |
|--|--------|------------|------|
|--|--------|------------|------|

Doors

Windows

Gates

Walls

COMPLIANCE

YES NO

Roof Type

Angled, flat, or a combination of both.

In the event that a roof is visible, the preferred surface material is Spanish tile.

Surface Texture

Smooth stucco.

COMPLIANCE

YES NO

SPANISH MISSION (CON'T.)

Color

Usually white or earth walls with terra cotta tiled visible roof surfaces. (See color chart) _____

Site Utilization

In commercial usage, usually built to property line with facade extending the length of the property frontage (1). _____

In residential usage, the building is generally placed with front, side and back yards (1). _____

Landscaping is very formally arranged, with walls and arches reflecting the character of the basic building. _____

Projections

Windows and doorways are typically deeply recessed in arched openings. _____

Portales and covered walks are supported by arches. _____

Arched or simple buttresses are used. _____

Architectural Details

Arches, iron grilles or railings, carved doors, partially or completely rounded windows, ornate metal hardware and ceramic tile are used in the Spanish Mission style. _____

(The rest of this page is left blank intentionally)

NORTHERN NEW MEXICO

Design standards with compliance checklist for the Northern New Mexico architectural style. When completing a checklist, applicants shall circle all the components within items that apply to their application and annotate their responses as needed. If a component is not required and does not apply to the application, it should be marked "n/a."

A "1" in parentheses after a component indicates that staff will figure an appropriate range for proportion or size, location or number, etc., based on the development zone of the structure. Drawings and photographs to further illustrate components are available in the community development office.

COMPLIANCE

YES NO

Design Components

Building Height: Usually one story; however, each case will be determined individually by the development zone.

The use of two stories would require the use of the angled roof as an attic or otherwise part of the second story.

Setback: There is no typical setback distance used, therefore the setback of the development zone would prevail.

The application of this style is generally in a rural setting. Certain buildings in the commercial area of Mesilla exhibit this style of building set on the property frontage.

Proportion: There is a marked division between the roof and exterior walls. The proportion of the exterior walls, usually of adobe construction, is long and low but verticality is achieved by the added angled roof (1). Roof angles are sharp but rarely reaching an angle of 45 percent off the horizontal (1).

Pattern and Rhythm

The facades of these buildings are simple with few window openings of small overall size (1).

Doorways are numerous predicated on the pattern of construction and additions to the basic construction (1).

| | Number | Proportion | Size |
|--|--------|------------|------|
|--|--------|------------|------|

Doors

Windows

Gates

Walls

COMPLIANCE

YES NO

Roof Type

The most significant style element is the angled roof of corrugated metal. It is used in either the hipped or pitched configuration. The hipped roof is angled from four sides with a ridge line shorter than the length of the building. The pitched roof is angled from two sides. The use of the pitched roof makes necessary a filler for the triangular area at the ends of the building created by the addition of the pitched roof.

COMPLIANCE

YES NO

NORTHERN NEW MEXICO (CON'T.)

Surface Texture

Surface texture is of adobe or simulated adobe construction with or without mud or hard plaster.

Color

White or earth color. (See color chart).

Site Utilization

These buildings in the commercial area utilize most of the available site space.

In the more open, rural parts of Mesilla, these buildings are sited in varying ways depending on overall site usage and the development zone.

Projections and Cavities

Portales or covered porches are roofed with the same basic roofing materials.

Portales are sometimes beneath extensions of the overall roof. In this case the angle of the basic roof is continued or broken slightly as required.

Portales are sometimes enclosed with screens.

Roof overhangs are generally minimal.

Architectural Details

Windows, doors, columns, chimneys and buttresses are similar to those found in other adobe based buildings.

(The rest of this page is left blank intentionally)

RANCH STYLE

Design standards with compliance checklist for the Ranch architectural style.

When completing a checklist, applicants shall circle all the components within items that apply to their application and annotate their responses as needed. If a component is not required and does not apply to the application, it should be marked "n/a."

A "1" in parentheses after a component indicates that staff will figure an appropriate range for proportion or size, location or number, etc., based on the development zone of the structure. Drawings and photographs to further illustrate components are available in the community development office.

COMPLIANCE

YES NO

Design Components

Building Height: To be determined on a case-by-case basis based on the development zone. Historically, single story although two-story additions or complete two story buildings occur.

Setback: Front yards are typical.

Ranch styles are not built to the property line and the setback of the development zone would prevail.

Proportion: Generally low and sprawling.

The pitched or angled roof sometimes creates an appearance of verticality.

Pattern and Rhythm

The character of this design element is generated by large picture windows, covered walkways or connecting overhead structures, the use of many windows, steps up to raised foundations, abrupt changes in facades which reflect the varying sizes of inner spaces or additions and a pattern sometimes created by changes in material.

| | Number | Proportion | Size |
|--|--------|------------|------|
|--|--------|------------|------|

Doors

Windows

Gates

Walls

COMPLIANCE

YES NO

Roof Type

Roofs are pitched, angled, or shallow hipped.

The use of prefab trusses on site of construction to achieve the angled roof is the typical technique.

Roofs are usually built with large overhangs (1).

The thickness of the roof is exaggerated by the addition of trim material.

Roofs are usually finished with shingles either of roofing paper or wood.

Roof types are pitched or shed with frequent intersections at changes in building plan.

COMPLIANCE

YES NO

RANCH STYLE (CON'T.)

Surface Texture

Ranch styles in Mesilla exhibit a variety of surface textures: brick, concrete block, stone, various kinds of siding, unplastered or plastered adobe and simulated adobe.

The individual Ranch style buildings or structures sometimes have a variety of finishes or textures due to veneers and additions.

Color

The Ranch style has no typical color. Due to construction, detail and use of veneers, a variety of colors are possible within an individual building.

Site Utilization

In Mesilla, Ranch style houses are usually outside the more densely developed older areas of the town.

Being a recent style, it is usually used in typical subdivision fashion.

Landscaping is controlled by fencing and walks.

Many ornamental plants and trees and large lawns create a green surrounding for the Ranch style house.

Projections and Cavities

More change of surface is shown by additions, garages, breezeways, covered entrances, manmade shade structures, roof overhangs and raised entrances with steps than in the other styles existing in Mesilla.

Architectural Details

Simple construction and basic design is evident in the Ranch style house.

Windows and doors are manufactured items.

Trim is simple and varied.

Scalloped edges, trellises and wood moldings are used.

-

[Ord. 2011-03; Ord. 2008-02 § 1. Formerly 18.33.120]

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 DENVER, CO 80202
 TEL: 303.733.1111
 WWW.ALLUREARCHITECTURE.COM

ALLURE

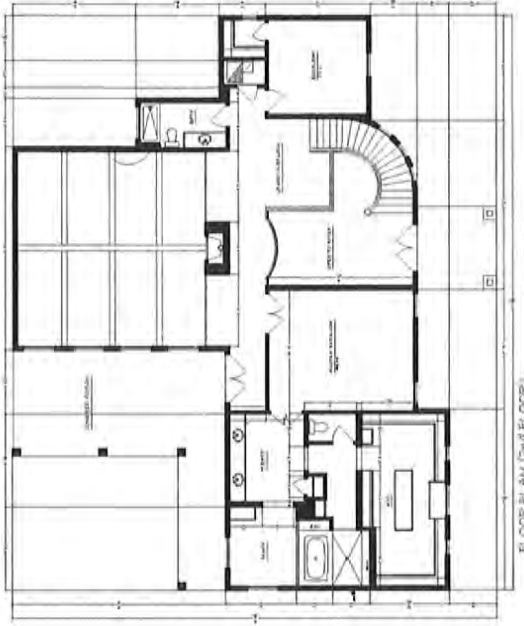
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 RESPONSIBLE: [Signature]

CONTRACT NUMBER: [Blank]

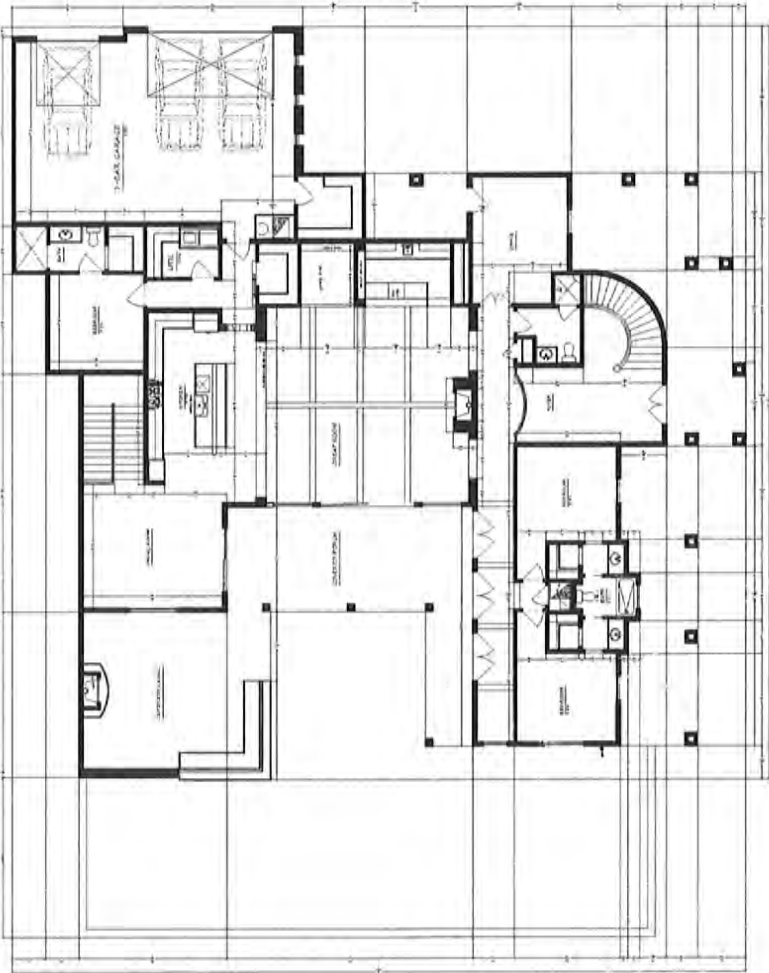
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SHEET TITLE: FLOOR PLAN SITE PLAN
 ELEVATION PRELIMINARY

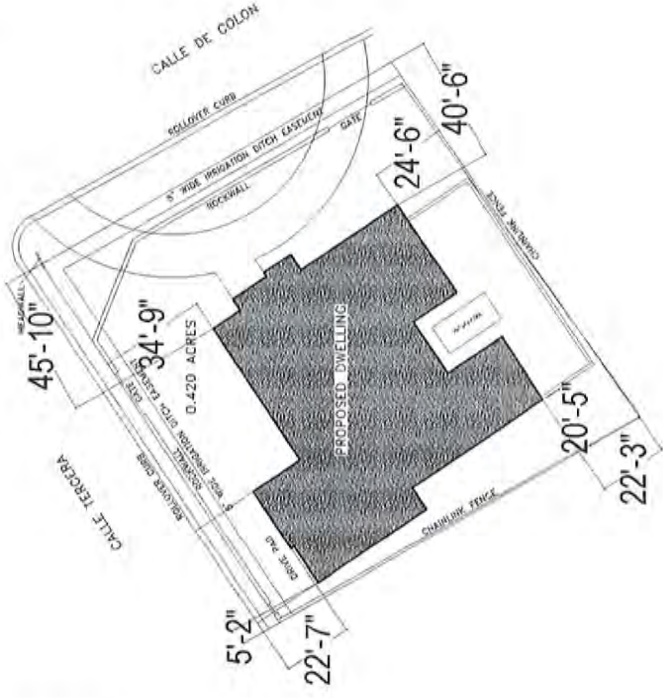
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 DATE: 10/20/11
 SHEET NUMBER: A.1



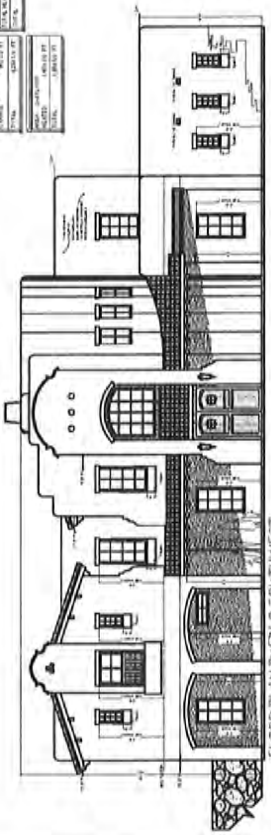
FLOOR PLAN 2ND FLOOR



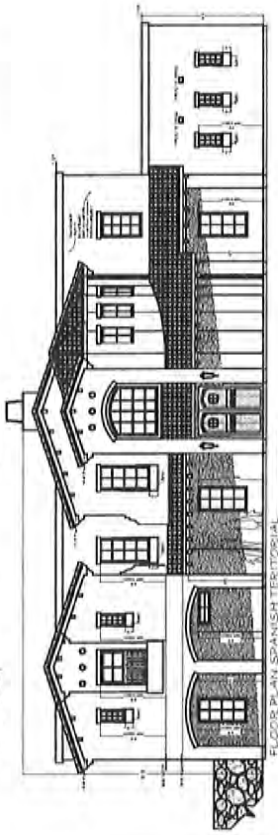
FLOOR PLAN MAIN LEVEL



| NO. | DESCRIPTION | DATE | BY |
|-----|--------------------|----------|-------------|
| 1 | ISSUED FOR PERMITS | 10/20/11 | [Signature] |
| 2 | REVISIONS | | |
| 3 | REVISIONS | | |
| 4 | REVISIONS | | |
| 5 | REVISIONS | | |



FLOOR PLAN PIERRES SOUTHWEST
 CASA DE MATYNE



FLOOR PLAN SPANISH TERRITORIAL
 CASA DE MATYNE

PHOTOS OF THE SUBJECT PROPERTY



PHOTO OF THE TWO STORY DWELLING AT 2380 CALLE DE CURA



PHOTO OF THE TWO STORY DWELLING AT 2631 CALLE TERCERA



PHOTO OF THE DUPLEX ACROSS THE STREET TO THE EAST AT 2385 CALLE DE COLON



PHOTO OF THE RECENTLY BUILT DWELLING AT 2305 CALLE DE COLON



PHOTO OF THE TWO STORY DWELLINGS ACROSS CALLE DE COLON TO THE NORTH



PHOTO OF THE NEIGHBORING DWELLING TO THE WEST



PHOTO OF THE DWELLING AT 2381 CALLE DEL CURA



PHOTO OF THE TWO STORY DWELLING AT 2640 CALLE DEL OESTE



PHOTO OF THE LARGE DWELLING AND BARN AT 2350 CALLE DE PARIAN



PHOTO OF THE LARGE DWELLING AT 2371 CALLE DE PARIAN



DAC HISTORICAL SOCIETY AWARD GIVEN TO DWELLING AT 2371 CALLE DE PARIAN



**PZHAC WORK SESSION
MARCH 4, 2019
ITEM 3**

Submitted by Jorge Larrazabal; a request to discuss plans construct a 30 foot by 16 foot steel carport with a partially enclosed storage unit on a residential property at 2195 Calle del Norte. (Case 060852) Zoned: Historical Residential (HR)

DESCRIPTION OF REQUEST:

The applicant would like to construct a 4800 square foot semi-enclosed carport and storage structure on a property containing a site built dwelling. The proposed structure will have a slightly pitched roof. According to the applicant, the structure will not be attached to the dwelling (see site attached plan). The structure will be finished to match the color of the existing dwelling.

The applicant has been informed that, if approved, the storage/carport structure will need to be either connected to the main dwelling or be located at least ten feet from the dwelling. The structure will be located near the northwest corner of the property (see site plan). The HR zoning of the property allows minimum side setbacks of three feet.

The dwelling does appear in the Historical Register and was considered to be architecturally contributing to its surroundings, even though substantial additions and alterations to the structure had taken place in the fifteen years prior to the dwelling being included in the application for the Historic Register. (According to the Register, the original structure was built around 1880.) Further additions and alterations to the dwelling were approved by the Town in 2001 with the result that the footprint and appearance of the dwelling was substantially changed from that which was described in the Historical Register (see attached site plan showing 2001 changes approved by Town). Although the exterior of the dwelling was substantially changed, the flat roof was still retained. Additionally, a ponding area for the property added in 2001 may need to be relocated in order to accommodate the proposed structure (see site plan from 2001).

CONSISTENCY WITH THE CODE:

The PZHAC will need to determine that the proposed wall will be compatible with the historical aspect of the surrounding area, and will be consistent with the following section of the Code:

Chapter 18.35 HR – Historical Residential Zone

The proposed wall could be compatible with the HR zoning of the property if it is completed and painted to match the rest of the dwelling.

The applicant will be present at the work session to provide further details about the proposed construction of the walls and shed, and will be available to answer any questions that may arise.

PHOTO OF PROPERTY FROM CALLE DE ARROYO SHOWING PROPOSED LOCATION OF SEMI-ENCLOSED CARPORT/STORAGE BUILDING



Doña Ana County, NM

General Reference Maps

2014 Aerial

Addresses

County Address Points

Maps

Legend

Map Themes

Parcels

UDC Zoning

Roads and Transportation

NM House Districts

NM Senate Districts

County Commission Districts

City Council Districts

Median Household Income

General Land Ownership

Account Number: [R0400222](#)

Parcel Number: 4006137149393

Owner: ESDERS PATRICK & DORIS O'BRIEN

Mail Address: 215 E 80TH ST APT 10L

Subdivision:

Property Address: 2195 CALLE DEL NORTE

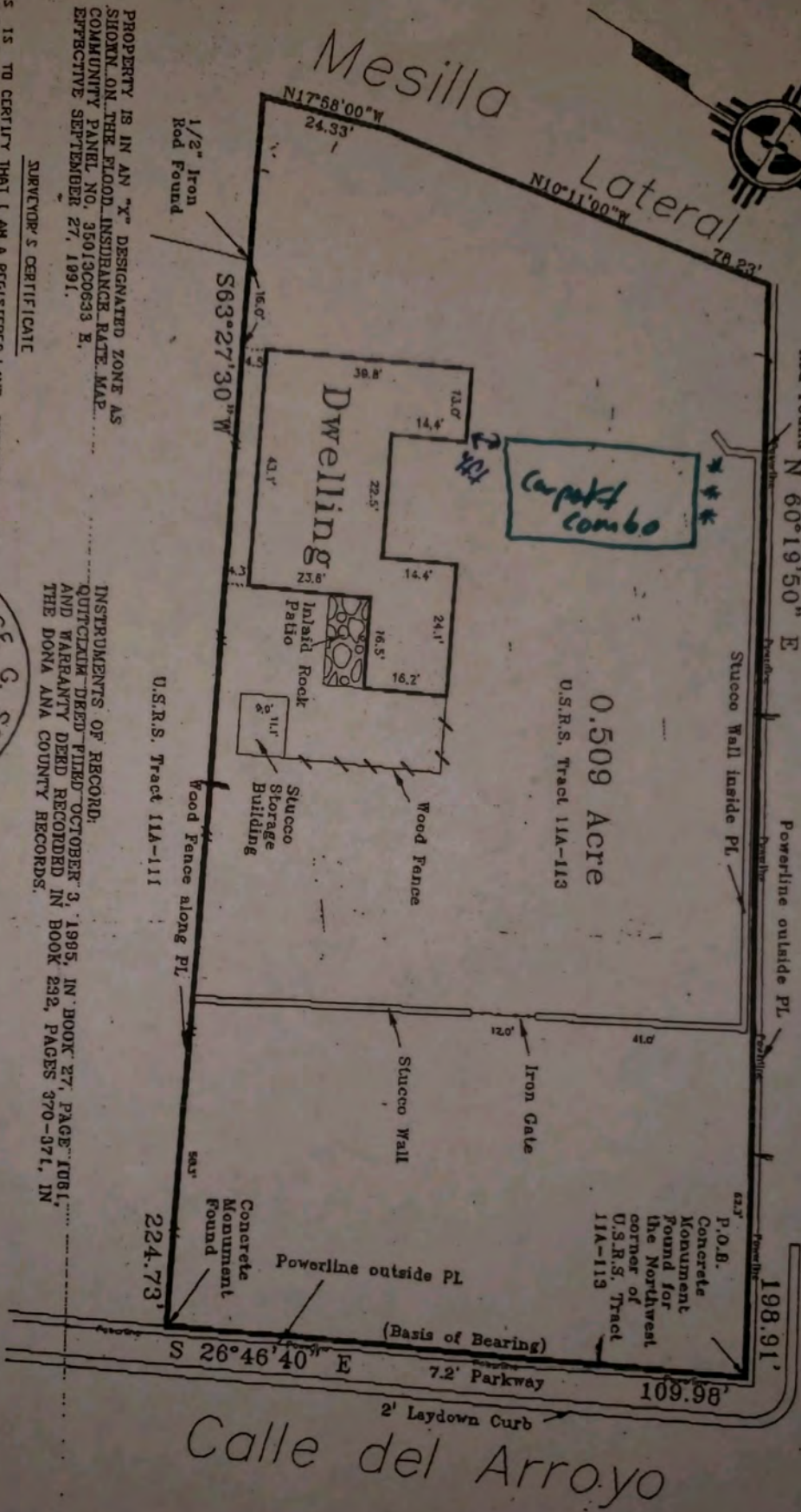
Acres: 0.43999082



PLAT OF SURVEY

A 0.509 ACRE TRACT
 LOCATED IN SECTION 25, T.23S., R.1E., N.M.P.M.
 OF THE U.S.R.S. SURVEYS, BEING U.S.R.S. TRACT 11A-113
 TOWN OF MESILLA, DONA ANA COUNTY, NEW MEXICO

Calle del Norte



PROPERTY IS IN AN "X" DESIGNATED ZONE AS SHOWN ON THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 35013C0633 E, EFFECTIVE SEPTEMBER 27, 1991.

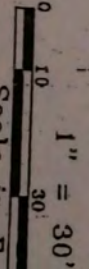
SURVEYOR'S CERTIFICATE

I, S. T. SCANLON, REGISTERED LAND SURVEYOR, THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MADE BY ME OR UNDER MY DIRECTION AND THAT IT IS TRUE AND CORRECT, GIVING THE MINIMUM REQUIREMENTS OF THE STANDARDS FOR LAND SURVEYS IN NEW MEXICO AS ADOPTED BY THE NEW MEXICO STATE BOARD OF SURVEYORS FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS, TO THE BEST OF MY KNOWLEDGE AND BELIEF.

INSTRUMENTS OF RECORD:
 QUICQUIN DEED FILED OCTOBER 3, 1895, IN BOOK 27, PAGE 1081,
 AND WARRANTY DEED RECORDED IN BOOK 232, PAGES 370-371, IN
 THE DONA ANA COUNTY RECORDS.

JUNE 26, 2007
 S. T. SCANLON

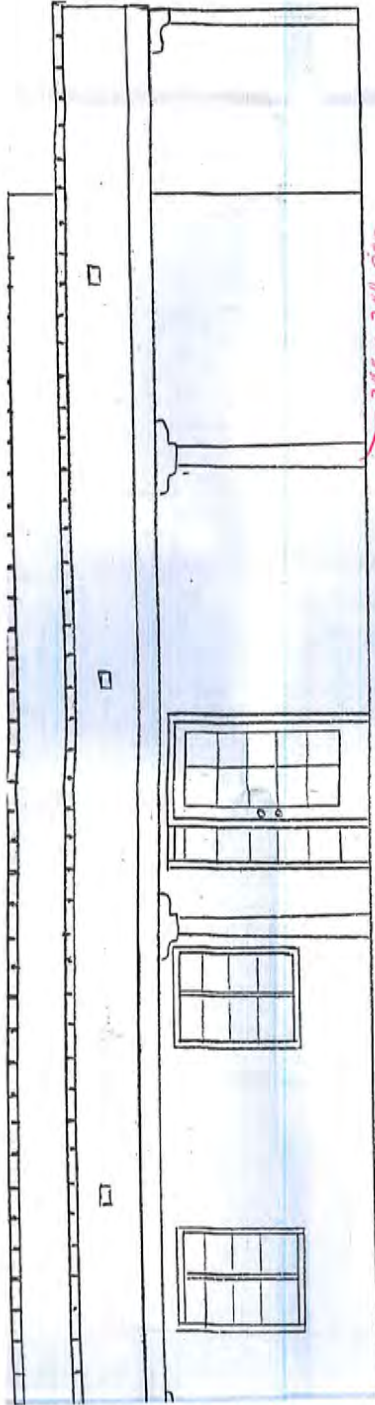
TED G. SCANLON - PS No. 9433
 540 N. WATER STREET, LAS CRUCES, NM 88001



scanlon white inc.
 3790 FOOTHILLS STE C
 Las Cruces, New Mexico 88011
 Phone: (505) 525-2119

| | |
|----------|---------------|
| DRAWN BY | BRADY |
| REVISOR | ROB & JAMES |
| JOB NO. | 90-0336 |
| DATE | JUNE 26, 2007 |

ZOOI PLANS

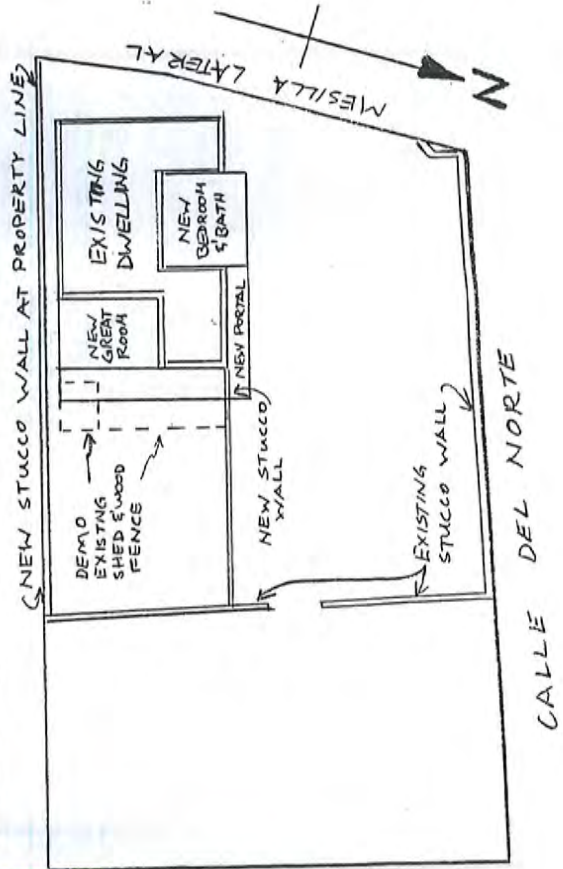


(M/R)

TYPICAL ADDITION CROSS

NEW SIDE ELEVATION (EAST)

SITE PLAN 1" = 30'



ROOF AND SITE DRAINAGE 1" = 30'

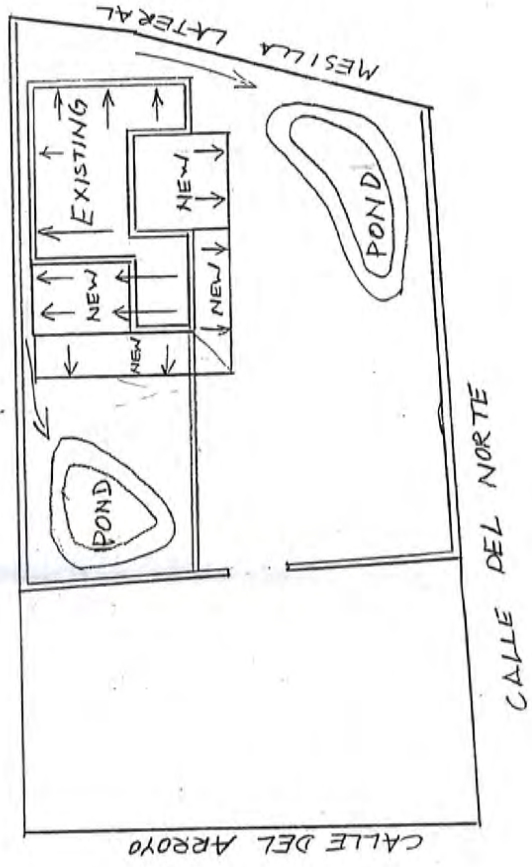




Image capture: Aug 2015 © 2019 Google

Las Cruces, New Mexico

Google

Street View - Aug 2015



Imagery ©2019 Google, Map data ©2019 Google 50 ft

ALERT SHEET?

YES NO

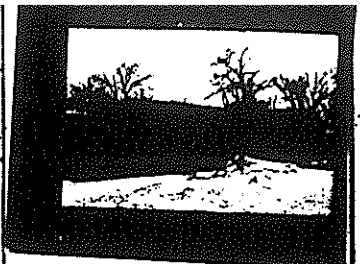
NEW MEXICO HISTORIC BUILDING INVENTORY
FORM 1: BUILDINGS & STRUCTURES 6-6 79

SURVEY DATE 3. BY 4/80 MBT
CHECK DATE 4. DATE 5. BY
COMPUTER DATE 6. DATE 7. BY
FILE DATE 8. DATE 9. BY
REVISION DATE 10. DATE 11. BY

COUNTY: Valencia
13. FIELD MAP NUMBER
14. NUMBER
15. UTM REFERENCE NUMBER
12. ZONE 12 13. EASTING 320750 14. NORTHING 3572150

SPECIFIC LOCATION: 2195 C. Norte
the SW corner of Calle del Norte
and Calle del Arroyo.
10' east of the Acequia Madre.

17. CITY/TOWN: Merida 18. ZIP
19. LAND GRANT OR RESERVATION: Merida Civil Colony



20. I.D. # 183202240
22. ROLL # 41 23. NEG # 31, 33
24. LOCATION OF NEG.

LEGAL DESCRIPTION: TOWNSHIP NS RANGE EW SECTION 1/4 1/4 1/4

ARCHITECTURAL STYLE: critterialism / adobe vernacular
26. NUMBER OF STORIES: 1
Larry & Viola Talaya
Box 509
MESILLA NM 88046



FOUNDATION MATERIAL(S): some parts (new) have concrete foundation

EXTERIOR WALL SURFACE(S): exposed adobe
4006-137-149-393

FENESTRATION (TYPE, DIVISIONS, SURROUNDS, SILLS, ARRANGEMENTS)
wood casement windows, double leafs, 3 lites per leaf, concrete lug sills, milled beam
lintels, no surrounds
wood casement windows, double leaf, 6 lites per leaf, milled beam lintel, no surrounds

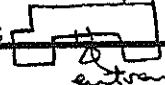
DOOR/ENTRANCE (TYPE/SURROUNDS): Double leaf door, large lites in upper portion (apaque), horiz
ing in lower portion. Massive milled beam lintel extends over doorway and the windows on
in side.

ROOF(S) (NUMBER/SHAPE/MATERIAL, DETAILS): Flat with single course brick coping on
slopes.

CHIMNEY(S) (NUMBER, EXTERIOR-INTERIOR, MATERIALS): exterior brick

EXTERIOR DETAILS: Viga ends visible on many walls. / Ornamental iron grill work
the windows on each side of main entrance.

COMMENTS: House greatly remodeled within the last 15 years, but done in a very way so
original structure was built on top. Now has a floor plan something like this:



DATE OF CONSTRUCTION: original walls 1880
35. ACTUAL SOURCE OF DATE

45. IMMEDIATE SURROUNDINGS: residential, farm land, ditches
entrance

ARCHITECT/ENGINEER/BUILDER

46. RELATION TO SURROUNDINGS
 SIMILAR NOT SIMILAR

SOURCE OF INFORMATION

47. ARCHITECTURAL CONTRIBUTION TO SURROUNDINGS
 PLUS NEUTRAL MINUS

NAME: Bill Shaw, owner

48. OVERALL SIGNIFICANCE
 NATIONAL STATE LOCAL NONE

1. PRESENT HISTORIC CONDITION: residential

49. ASSOCIATED BUILDINGS? YES NO

2. QUALITY OF CONSTRUCTION: GOOD FAIR DETERIORATED

50. WHAT TYPE? storage room apart from house
on the SE side - exposed adobe, flat roof.
51. IF INVENTORIED, LIST I.D. #'S

3. DEGREE OF REMODELING: MODERATE MAJOR

52. SEE BACK? YES NO

- 233 This small, stuccoed house has a gabled roof and metal casement windows. A flat roofed, concrete block addition is on the west side. est. 1960. (N)
- 234 This is a large "U" shaped residence with hip roofs, metal casement windows and stuccoed exterior walls. est. 1950. (N)
- 235 This is a long, rectangular-plan house, stuccoed, it has a gabled roof covered by asphalt shingles and aluminum frame windows. est. 1945. (N)
- 236 This small, square-plan house with metal casement windows has a flat roof, and stuccoed exterior walls. est. 1960. (N)
- 237 This is a stuccoed residence covered by a gabled roof, and it has metal casement windows. est. 1960. (N)
- 238 A flat roofed, stuccoed house with a parapet, this residence has wood and aluminum frame windows. est. 1930. (C)
- 239 This large, stuccoed residence covered by a low hipped roof has aluminum frame windows. It is located on a large lot. est. 1955. (N)
- 240 According to the owner, this house belonged to Pablo Maese in the early 1900's. He had a vinyard and winery here. This residence is in the shape of a "U". Within the last fifteen years quite a few additions and alterations have taken place, but all are done in a manner which does not detract from the original rooms which occupy the western part of the building. The walls are of unplastered adobe, the roof is flat with a parapet capped by a brick coping. The windows are wood casement, and massive wood lintels span the doors and windows. est. 1880. (C)
- 241 This is a stuccoed adobe residence of an irregular floor pattern. It has a flat roof with parapet, wood frame windows, and an enclosed back porch that faces the street. est. 1890. (C)
- 242 This property had been in the Aurelia Lopez family in the early 1900's according to the deed. The house has recently been remodeled with a gabled roof, aluminum sash windows, and new stuccoe. The core of the house probably dates to the 1870's. (C)
- 243 A deteriorating adobe structure, this used to be a large residence and is now vacant. Many of the walls have serious coving occurring or have already fallen in. No fenestration is visible; however, hand hewn beams are evident. All walls are of unplastered adobe. The roof is flat and

Eagle Carports

"Flying High with Great Deals"



STRUCTURAL DESIGN

STANDARD PACKAGE

PARTIALLY ENCLOSED

(UTILITY) BUILDING

MAXIMUM 30'- 0" WIDE X 16'- 0" HEIGHT-
BOX EAVE FRAME AND BOW FRAME

11 November 2016
Revision 1
M&A Project No. 16166S

Prepared for:

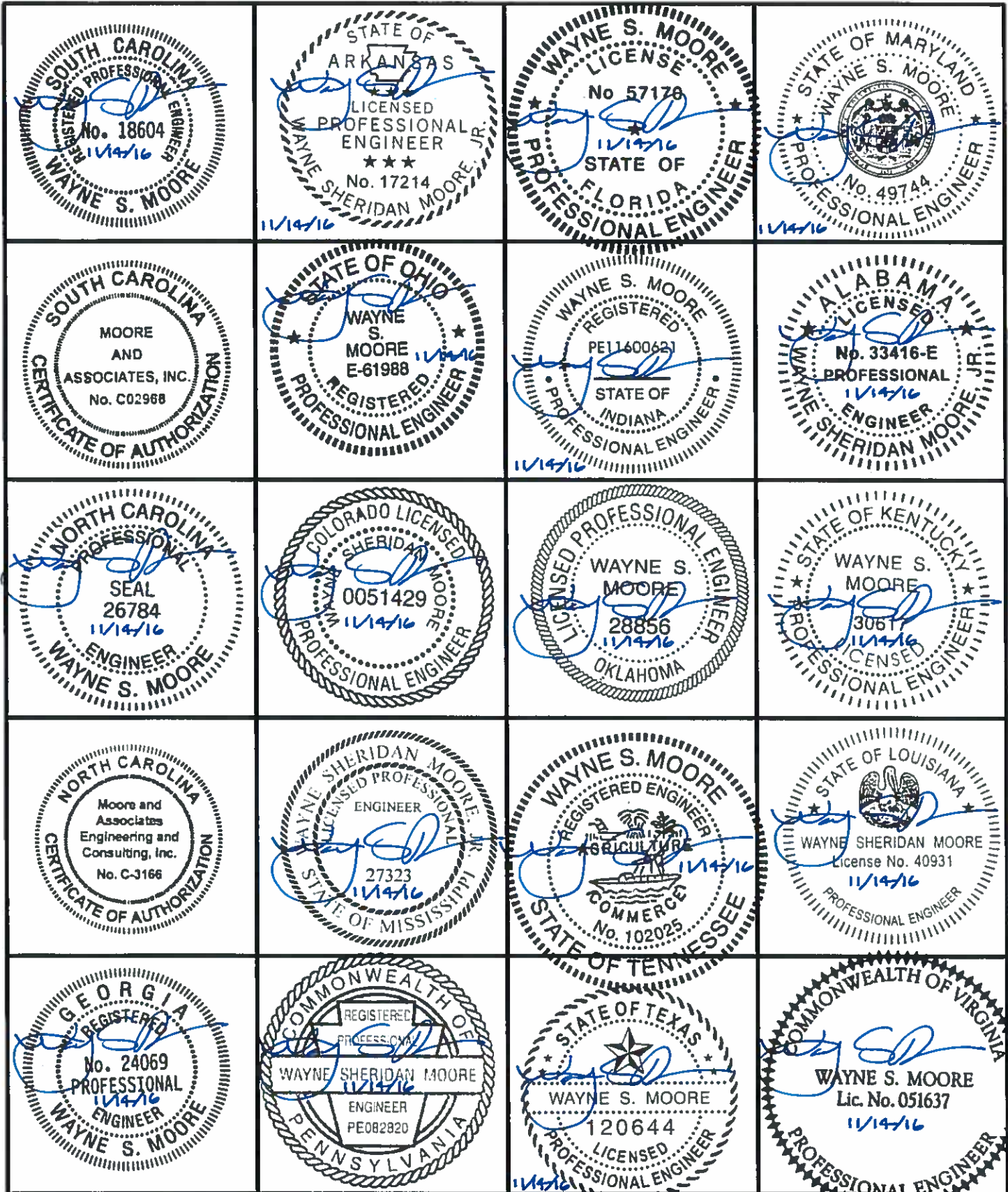
Eagle Carports
210 Airport Road
Mount Airy, NC 27030

Prepared by:

Moore and Associates Engineering and Consulting, Inc.
1009 East Avenue
North Augusta, SC 29841



MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING



**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

DRAWN BY: LT

CHECKED BY: PDH

PROJECT MGR: VSM

CLIENT: -

EAGLE CARPORT
30'x16' SP UTILITY BUILDING
PE SEAL COVER SHEET

DATE: 11-11-16

SHT. 1

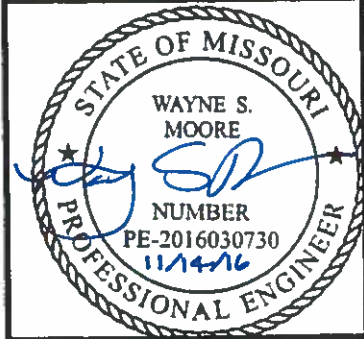
SCALE: NTS

DWG. NO: SK-2

JOB NO: 16166S

REV: 1

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DRAWN BY: LT

CHECKED BY: PMH

PROJECT NBR: VSH

CLIENT: -

**EAGLE CARPORTS
30'x16' SP UTILITY BUILDING
PE SEAL COVER SHEET**

DATE: 11-11-16

SCALE: NTS

JOB NO: 161665

SHT. 1

DWG. NO: SK-2

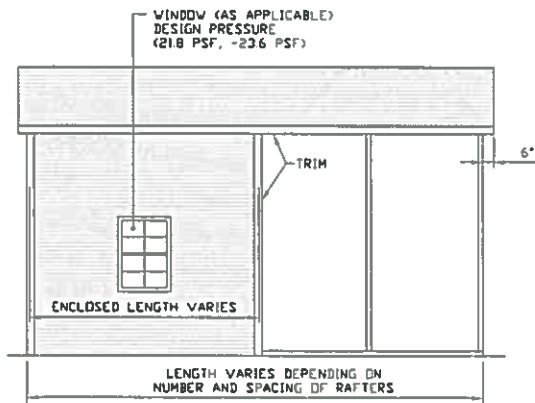
REV. 1

DRAWING INDEX

| | |
|----------|---|
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| SHEET 2 | DRAWING INDEX |
| SHEET 3 | INSTALLATION NOTES AND SPECIFICATIONS AND TYPICAL SIDE AND END ELEVATIONS |
| SHEET 4 | TYPICAL RAFTER/COLUMN END AND SIDE FRAMING SECTION (BOX EAVE RAFTER) |
| SHEET 5A | COLUMN CONNECTION DETAILS (BOX EAVE STRUCTURE) |
| SHEET 5B | COLUMN CONNECTION DETAILS (BOX EAVE STRUCTURE) |
| SHEET 6 | TYPICAL RAFTER/COLUMN END AND SIDE FRAMING SECTION (BOW RAFTER) |
| SHEET 7A | COLUMN CONNECTION DETAILS (BOW RAFTER STRUCTURE) |
| SHEET 7B | COLUMN CONNECTION DETAILS (BOW RAFTER STRUCTURE) |
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| SHEET 12 | WALL OPENING DETAILS |
| SHEET 13 | LEAN-TO OPTIONS (BOX EAVE RAFTER) |
| SHEET 14 | LEAN-TO OPTIONS (BOW RAFTER) |
| SHEET 15 | VERTICAL ROOF OPTION END AND SIDE ELEVATION AND SECTION |

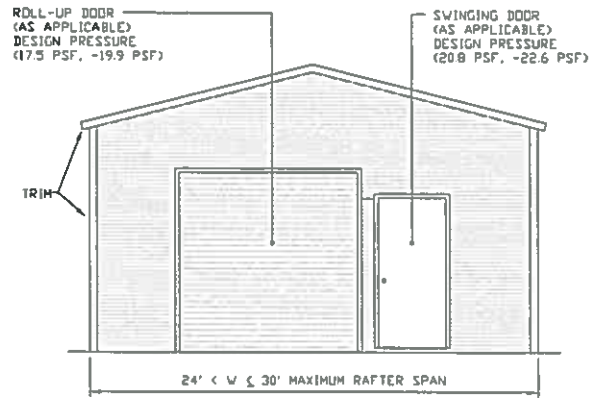
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|---|------------------|---|---------------|----------------|
| MOORE AND ASSOCIATES ENGINEERING AND CONSULTING, INC. | DRAWN BY: LT | EAGLE CARPORTS 210 AIRPORT ROAD MOUNT AIRY, NC 27030 30'x16' SP UTILITY BUILDING | | |
| | CHECKED BY: PDH | DATE: 11-11-16 | SCALE: NTS | JOB NO: 161665 |
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| | CLIENT: - | | | |

BOX EAVE FRAME RAFTER STRUCTURE (Sheets 4, 5, 8, 9, 11, 12, 13, AND 15)



TYPICAL SIDE ELEVATION-HORIZONTAL ROOF

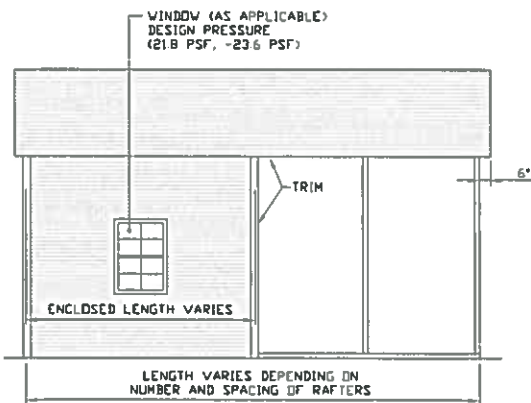
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TYPICAL END ELEVATION-HORIZONTAL ROOF

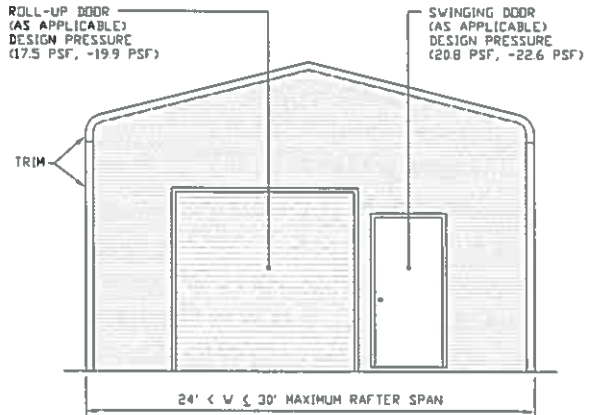
SCALE: NTS

BOW FRAME RAFTER STRUCTURE (Sheets 6, 7, 8, 10, 11, 12, AND 14)



TYPICAL SIDE ELEVATION

SCALE: NTS



TYPICAL END ELEVATION

SCALE: NTS

INSTALLATION NOTES AND SPECIFICATIONS

1. DESIGN IS FOR MAXIMUM 30' WIDE x 16' EAVE HEIGHT PARTIALLY OPEN UTILITY STRUCTURES
2. DESIGN WAS DONE IN ACCORDANCE WITH THE 2014 FLORIDA BUILDING CODE (FBC) 5TH EDITION, 2012 NORTH CAROLINA BUILDING CODE, 2006 INTERNATIONAL BUILDING CODE (IBC), 2009 IBC, 2012 IBC AND 2015 IBC.
3. DESIGN LOADS ARE AS FOLLOWS:
 - A) DEAD LOAD = 1.5 PSF
 - B) LIVE LOAD = 12 PSF
 - C) GROUND SNOW LOAD = 35 PSF
4. LOW ULTIMATE WIND SPEED (LW) 105 TO 140 MPH (NOMINAL WIND SPEED 81 TO 108 MPH); MAXIMUM RAFTER/POST AND END POST SPACING = 5.0 FEET. (W <= 24'); AND SPACING = 4.0 FEET (24' < W < 30')
5. LOW HAZARD RISK CATEGORY I (WIND).
6. WIND EXPOSURE CATEGORY B.
7. SPECIFICATIONS APPLICABLE TO 29 GAUGE METAL PANELS FASTENED DIRECTLY TO 2 1/2" x 2 1/2" - 14 GAUGE TUBE STEEL (TS) FRAMING MEMBERS (UNLESS NOTED OTHERWISE)
8. AVERAGE FASTENER SPACING ON-CENTERS ALONG RAFTERS OR HAT CHANNELS, AND COLUMNS (INTERIOR OR END) = 10" O.C. (MAX)
9. FASTENERS CONSIST OF #12-14x3/4" SELF-DRILLING FASTENER (SDF), USE CONTROL SEAL WASHER WITH EXTERIOR FASTENERS. SPECIFICATIONS APPLICABLE ONLY FOR MEAN ROOF HEIGHT OF 20 FEET OR LESS, AND ROOF SLOPES OF 14" (3/12 PITCH) OR LESS SPACING REQUIREMENTS FOR OTHER ROOF HEIGHTS AND/OR SLOPES MAY VARY.
10. GROUND ANCHORS SHALL BE INSTALLED THROUGH BASE RAIL WITHIN 6" OF EACH RAFTER COLUMN ALONG SIDES
11. GROUND ANCHORS CONSIST OF #4 REBAR W/ WELDED NUT x 36" LONG IN SUITABLE SOIL CONDITIONS OPTIONAL ANCHORAGE MAY BE USED IN SUITABLE SOILS AND MUST BE USED IN UNSUITABLE SOILS AS NOTED.
12. WIND FORCES GOVERN OVER SEISMIC FORCES SEISMIC PARAMETERS ANALYZED ARE:
 - SOIL SITE CLASS = D
 - RISK CATEGORY I/II/III
 - R = 3.25 I_E = 1.0
 - S_{DS} = 1.522 V = C_sW
 - S_{D1} = 0.839

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ENGINEERING AND CONSULTING, INC.**

DRAWN BY: LT

CHECKED BY: PDM

PROJECT MGR: WSM

CLIENT: -

EAGLE CARPORTS
210 AIRPORT ROAD
MOUNT AIRY, NC 27030
30'x16' SP UTILITY BUILDING

DATE: 11-11-16

SHT. 3

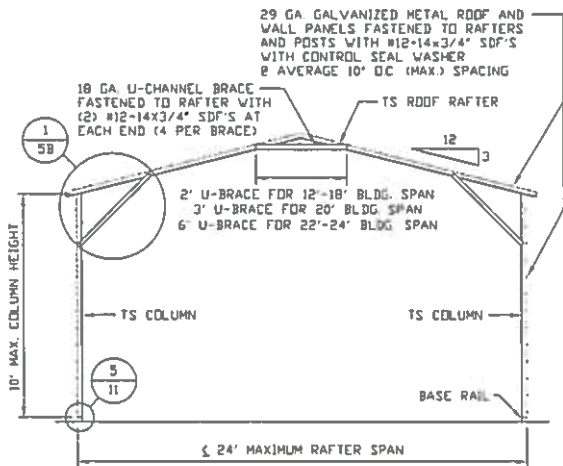
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DWG. NO: SK-2

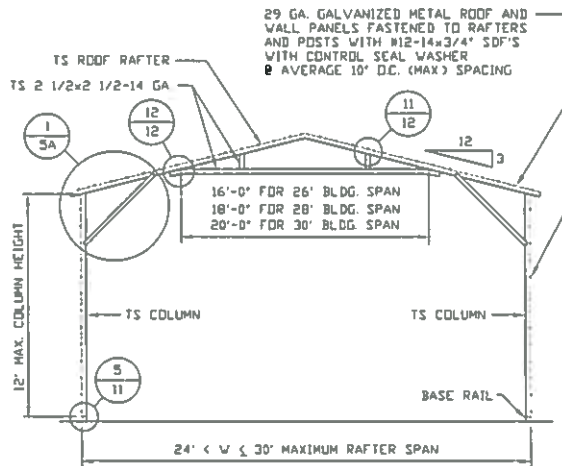
JOB NO: 16166S

REV: 1

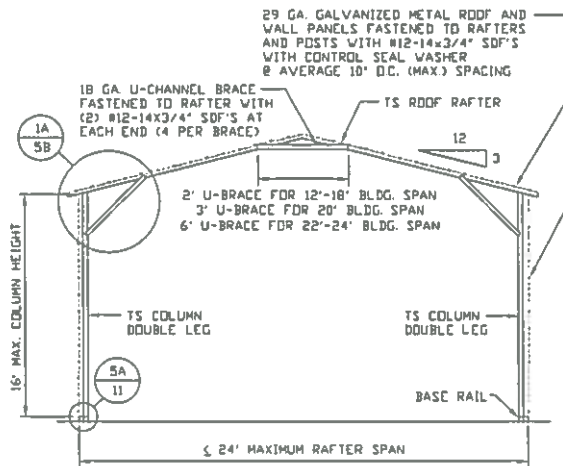
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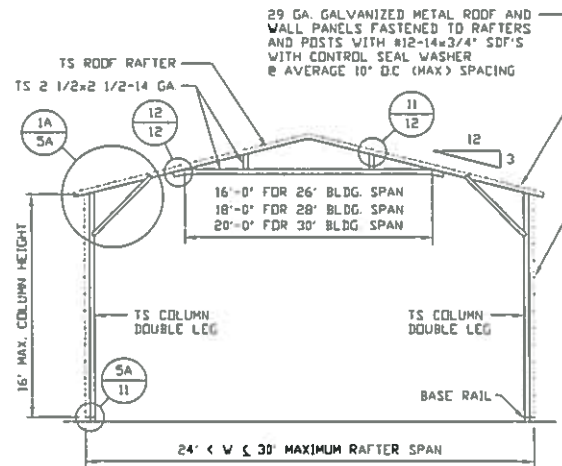
TYPICAL RAFTER/COLUMN END FRAME SECTION
SCALE: NTS



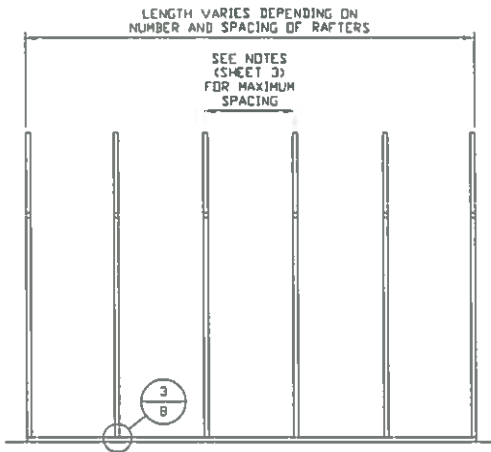
TYPICAL RAFTER/COLUMN END FRAME SECTION
SCALE: NTS



TYPICAL RAFTER/COLUMN END FRAME SECTION
SCALE: NTS



TYPICAL RAFTER/COLUMN END FRAME SECTION
SCALE: NTS



TYPICAL RAFTER/COLUMN SIDE FRAMING SECTION
SCALE: NTS

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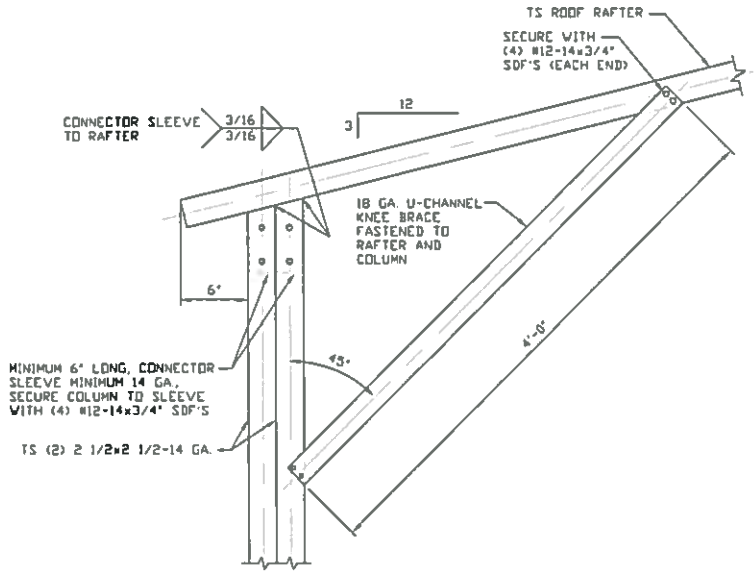
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**EAGLE CARPORTS
210 AIRPORT ROAD
MOUNT AIRY, NC 27030
30'x16' SP UTILITY BUILDING**

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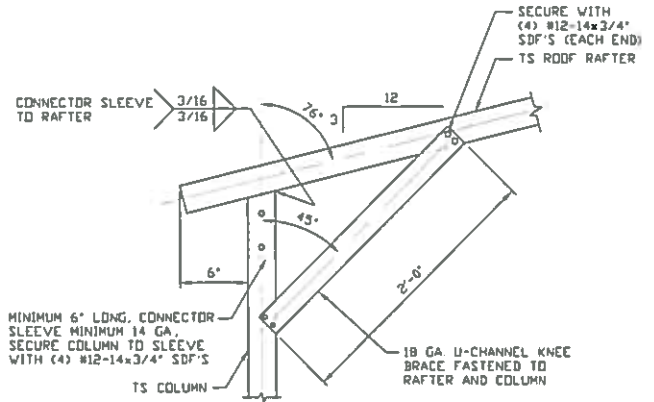
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| PROJECT MGR: WSM | DATE: 11-11-16 | SCALE: NTS | JOB NO: 16166S |
| CLIENT: - | SHT. 4 | DWG. NO: SK-2 | REV: 1 |

24' < W ≤ 30' MAXIMUM RAFTER SPAN



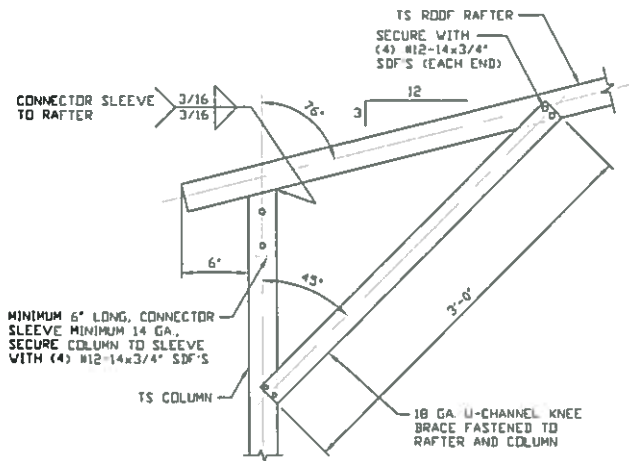
1A

BOX EAVE RAFTER COLUMN CONNECTION DETAIL FOR HEIGHTS 12' < TO ≤ 16'
SCALE: NTS



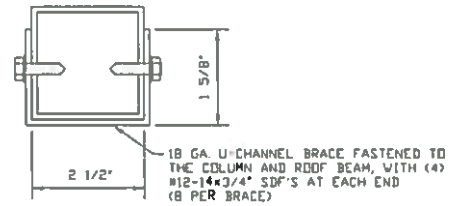
1C

BOX EAVE RAFTER COLUMN CONNECTION DETAIL FOR HEIGHTS ≤ 8'
SCALE: NTS



1B

BOX EAVE RAFTER COLUMN CONNECTION DETAIL FOR HEIGHTS 8' < TO ≤ 12'
SCALE: NTS



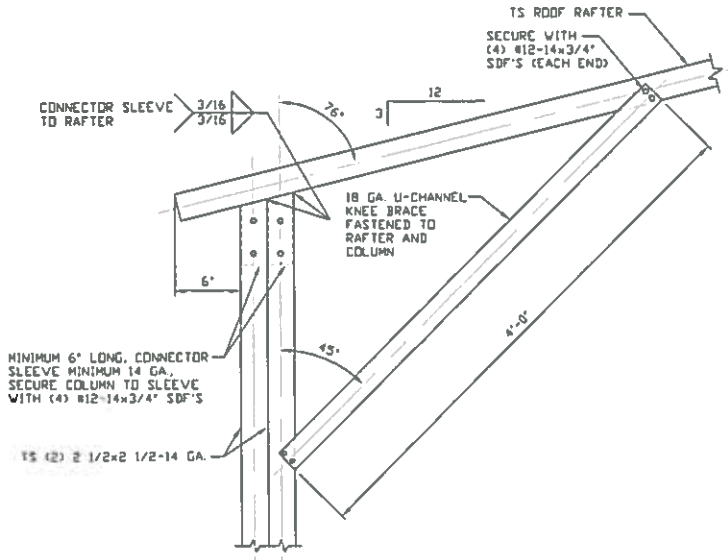
BRACE SECTION
SCALE: NTS

**MOORE AND ASSOCIATES
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| | | | |
|-------------------------|-----------------------|-----------------------|---------------|
| DRAWN BY: LT | EAGLE CARPORTS | | |
| CHECKED BY: PDH | 210 AIRPORT ROAD | | |
| PROJECT MGR: WSH | MOUNT AIRY, NC 27030 | | |
| DATE: 11-11-16 | SCALE: NTS | JOB NO: 161665 | |
| CLIENT: - | SHT: 5A | DWG NO: SK-2 | REV: 1 |

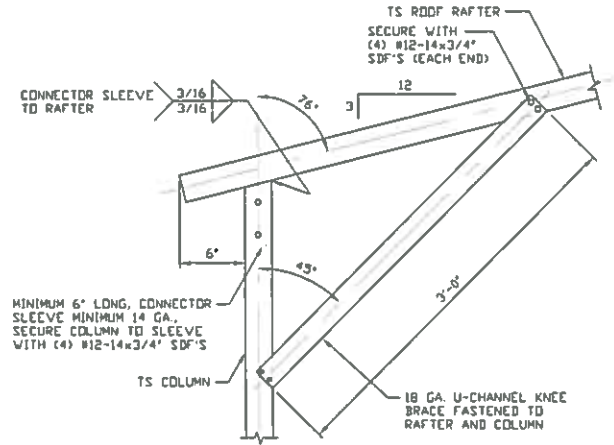
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≤ 24' MAXIMUM RAFTER SPAN



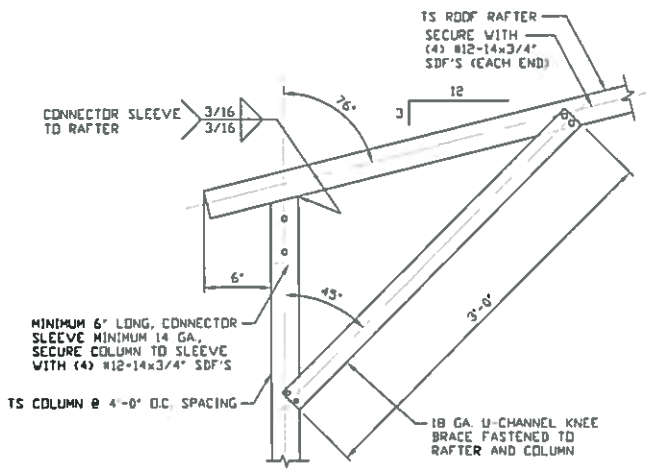
1A
SCALE: NTS

BOX EAVE RAFTER COLUMN CONNECTION DETAIL FOR HEIGHTS 12' < TO ≤ 16'



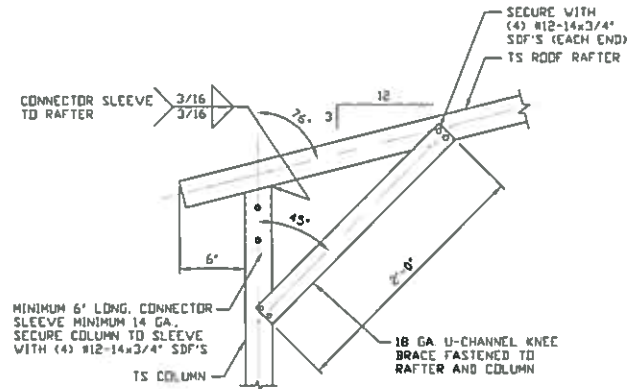
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BOX EAVE RAFTER COLUMN CONNECTION DETAIL FOR HEIGHTS 8' < TO ≤ 10'



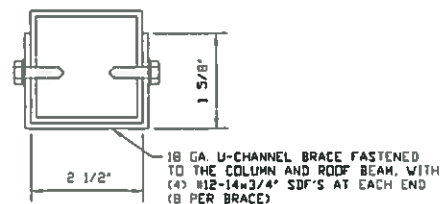
1B
SCALE: NTS

BOX EAVE RAFTER COLUMN CONNECTION DETAIL FOR HEIGHTS 10' < TO ≤ 12'



1D
SCALE: NTS

BOX EAVE RAFTER COLUMN CONNECTION DETAIL FOR HEIGHTS ≤ 8'



BRACE SECTION
SCALE: NTS

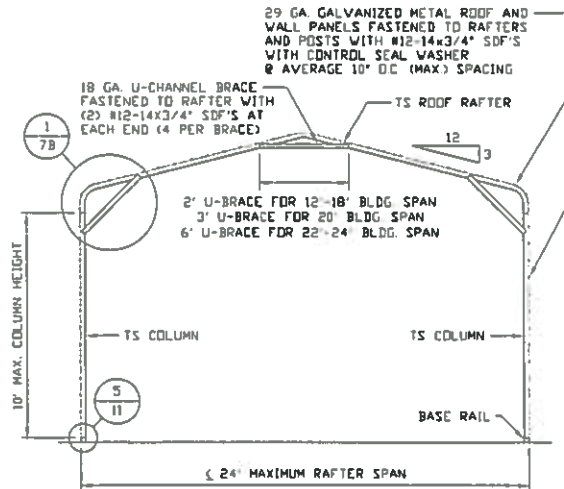
**MOORE AND ASSOCIATES
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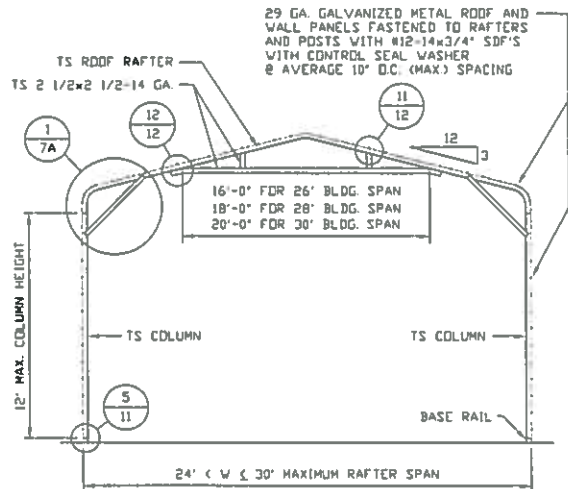
**EAGLE CARPORTS
210 AIRPORT ROAD
MOUNT AIRY, NC 27030
30'x16' SP UTILITY BUILDING**

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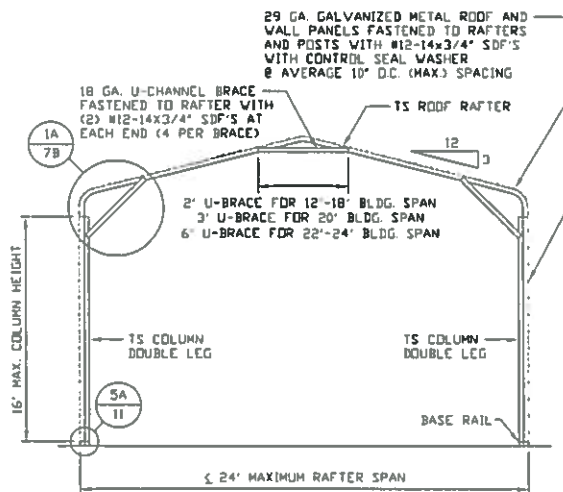
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| PROJECT MGR: WSM | DATE: 11-11-16 | SCALE: NTS | JOB NO: 161665 |
| CLIENT: - | SHT. 5B | DWG. NO: SK-2 | REV: 1 |



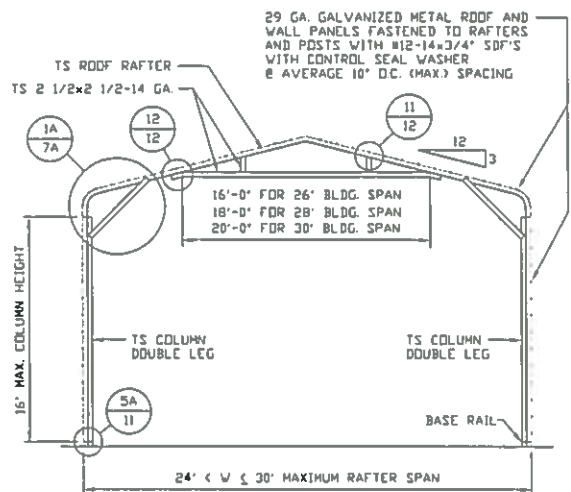
TYPICAL RAFTER/COLUMN END FRAME SECTION
SCALE: NTS



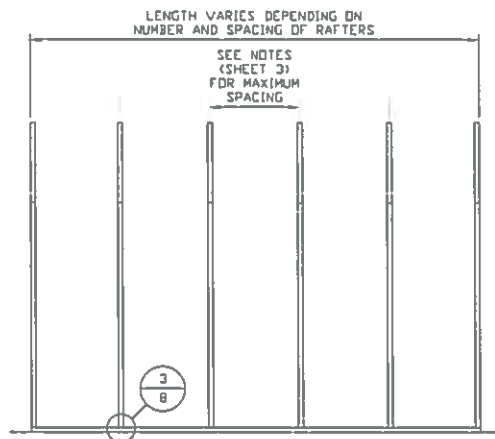
TYPICAL RAFTER/COLUMN END FRAME SECTION
SCALE: NTS



TYPICAL RAFTER/COLUMN END FRAME SECTION
SCALE: NTS



TYPICAL RAFTER/COLUMN END FRAME SECTION
SCALE: NTS



TYPICAL RAFTER/COLUMN FRAMING SIDE SECTION
SCALE: NTS

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PROJECT MGR: WSM

CLIENT: -

EAGLE CARPORTS
210 AIRPORT ROAD
MOUNT AIRY, NC 27030
30'x16' SP UTILITY BUILDING

DATE: 11-11-16

SHT. 6

SCALE: NTS

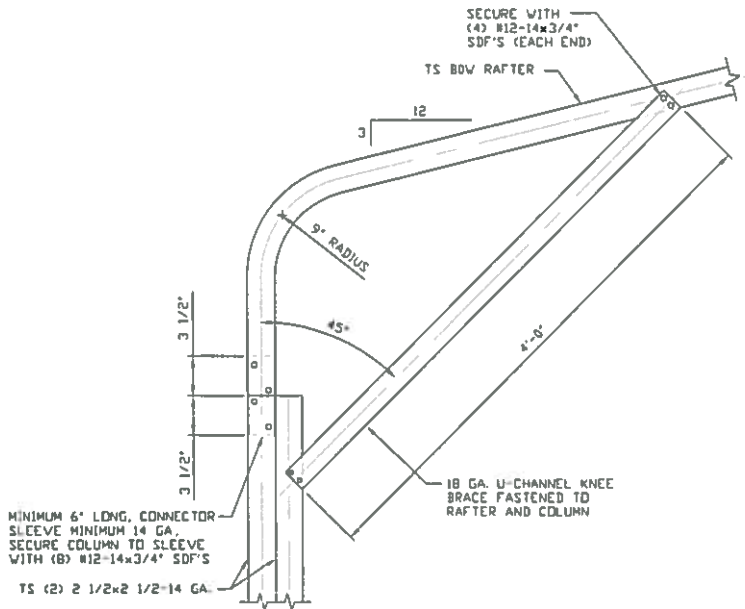
DWG. NO: SK-2

JOB NO: 16166S

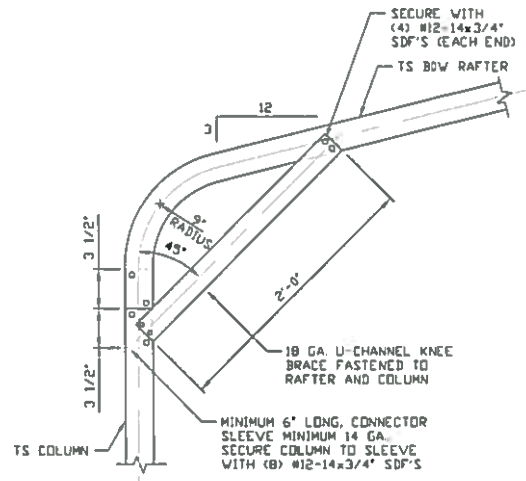
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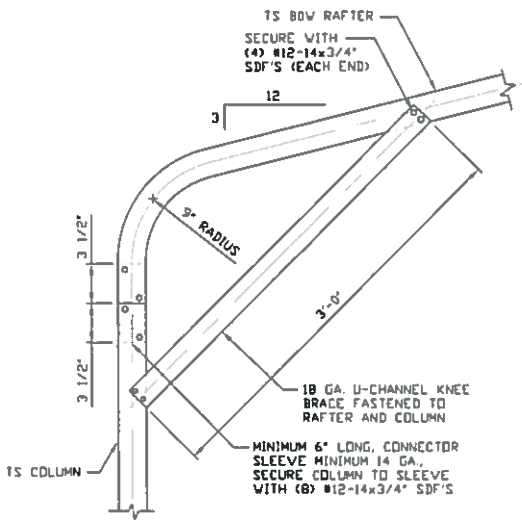
24' < W ≤ 30' MAXIMUM RAFTER SPAN



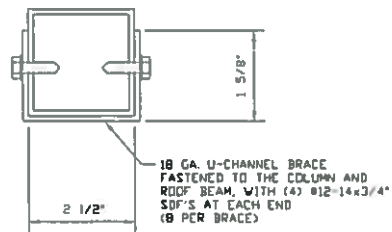
1A
BOW EAVE RAFTER COLUMN CONNECTION DETAIL FOR HEIGHTS 12' < TO ≤ 16'
 SCALE: NTS



1C
BOW EAVE RAFTER COLUMN CONNECTION DETAIL FOR HEIGHTS ≤ 8'
 SCALE: NTS



1B
BOW EAVE RAFTER COLUMN CONNECTION DETAIL FOR HEIGHTS 8' < TO ≤ 10'
 SCALE: NTS



BRACE SECTION
 SCALE: NTS

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PROJECT MGR: WSH

CLIENT: -

EAGLE CARPORTS
 210 AIRPORT ROAD
 MOUNT AIRY, NC 27030
 30'x16' SP UTILITY BUILDING

DATE: 11-11-16

SHT. 7A

SCALE: NTS

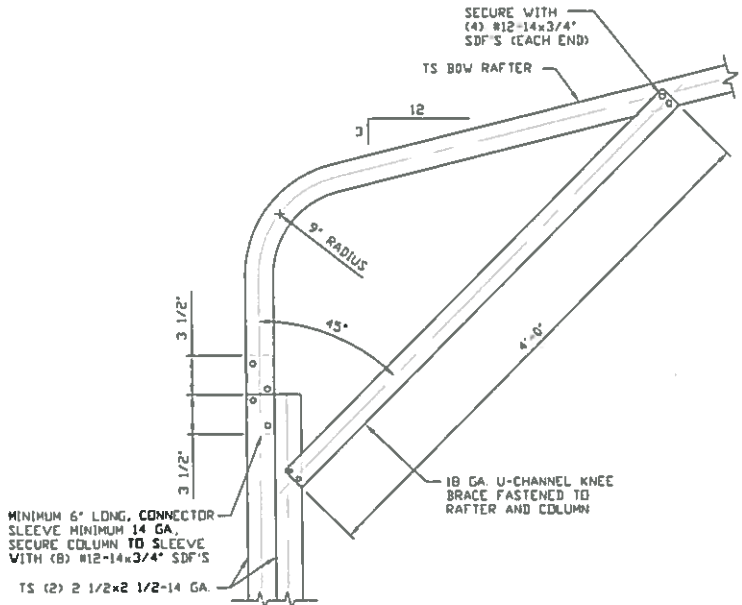
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JOB NO: 16166S

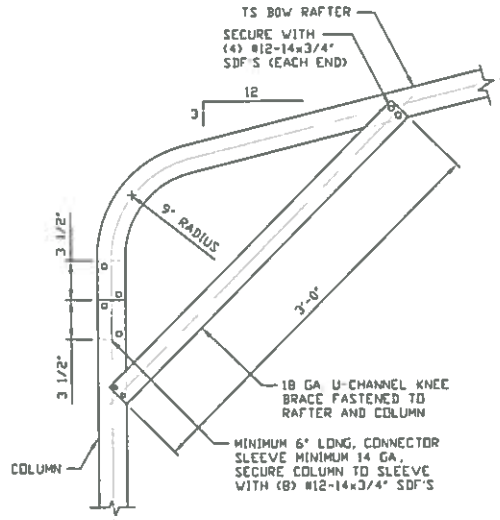
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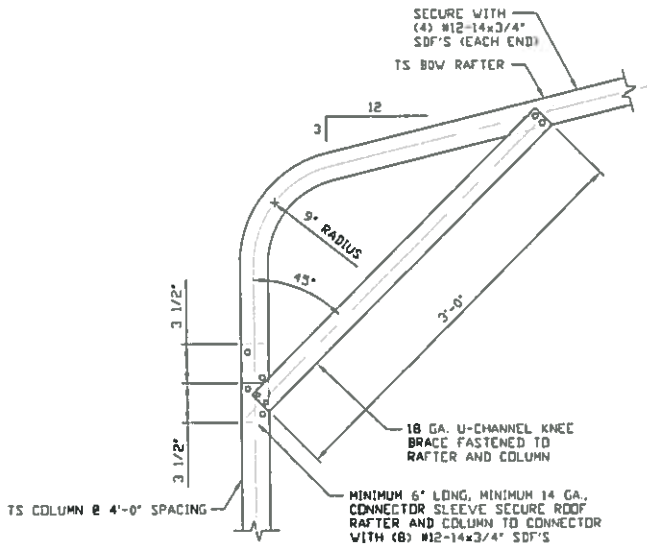
≤ 24' MAXIMUM RAFTER SPAN



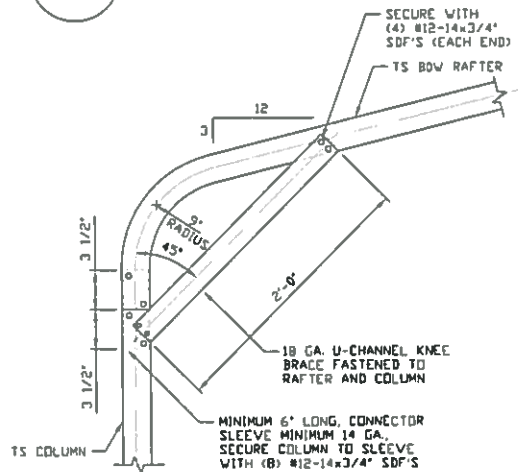
1A
BOW EAVE RAFTER COLUMN CONNECTION DETAIL FOR HEIGHTS 12' < TO ≤ 16'
 SCALE: NTS



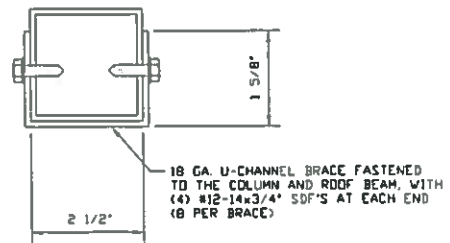
1C
BOW EAVE RAFTER COLUMN CONNECTION DETAIL FOR HEIGHTS 8' < TO ≤ 10'
 SCALE: NTS



1B
BOW EAVE RAFTER COLUMN CONNECTION DETAIL FOR HEIGHTS 8' < TO ≤ 12'
 SCALE: NTS



1D
BOW EAVE RAFTER COLUMN CONNECTION DETAIL FOR HEIGHTS ≤ 8'
 SCALE: NTS



BRACE SECTION
 SCALE: NTS

**MOORE AND ASSOCIATES
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EAGLE CARPORTS
 210 AIRPORT ROAD
 MOUNT AIRY, NC 27030
 30'x16' SP UTILITY BUILDING

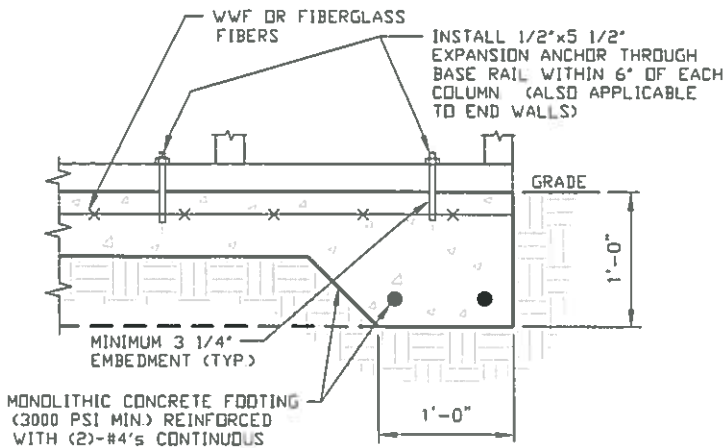
DATE: 11-11-16
SHT. 7B

SCALE: NTS
DWG. NO: SK-2

JOB NO: 16166S
REV. 1

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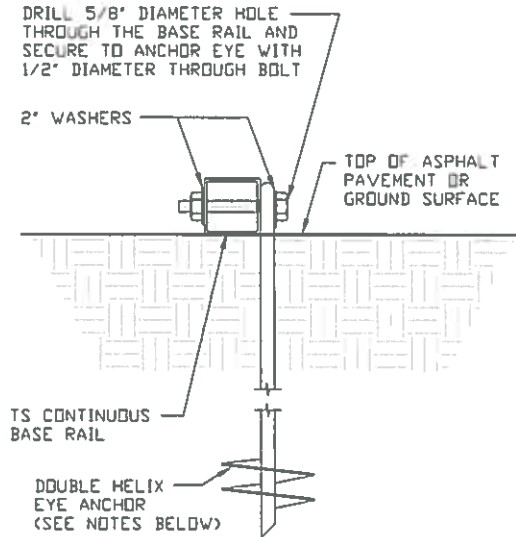
BASE RAIL ANCHORAGE OPTIONS



3A

CONCRETE MONOLITHIC SLAB BASE RAIL ANCHORAGE

SCALE: NTS
MINIMUM ANCHOR EDGE DISTANCE IS 1 5/8"



3B

GROUND BASE HELIX ANCHORAGE

SCALE: NTS (CAN BE USED FOR ASPHALT)

GENERAL NOTES

CONCRETE:

CONCRETE SHALL HAVE A MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS

COVER OVER REINFORCING STEEL:

FOR FOUNDATIONS, MINIMUM CONCRETE COVER OVER REINFORCING BARS SHALL BE PER ACI-318:
3" IN FOUNDATIONS WHERE THE CONCRETE IS CAST AGAINST AND PERMANENTLY IN CONTACT WITH THE EARTH OR EXPOSED TO THE EARTH OR WEATHER, AND 1 1/2" ELSEWHERE.

REINFORCING STEEL:

THE TURNDOWN REINFORCING STEEL SHALL BE ASTM A615 GRADE 60. THE SLAB REINFORCEMENT SHALL BE WELDED WIRE FABRIC MEETING ASTM A185 OR FIBERGLASS FIBER REINFORCEMENT.

REINFORCEMENT MAY BE BENT IN THE SHOP OR THE FIELD PROVIDED:

- 1 REINFORCEMENT IS BENT COLD
- 2 THE DIAMETER OF THE BEND, MEASURED ON THE INSIDE OF THE BAR, IS NOT LESS THAN SIX-BAR DIAMETERS
- 3 REINFORCEMENT PARTIALLY EMBEDDED IN CONCRETE SHALL NOT BE FIELD BENT.

HELIX ANCHOR NOTES:

- 1 FOR VERY DENSE AND/OR CEMENTED SANDS, COARSE GRAVEL AND COBBLES, CALICHE, PRELOADED SILTS AND CLAYS, USE MINIMUM (2) 4" HELICES WITH MINIMUM 30' EMBEDMENT OR SINGLE 6" HELIX WITH MINIMUM 50' EMBEDMENT
- 2 FOR CORAL USE MINIMUM (2) 4" HELICES WITH MINIMUM 30' EMBEDMENT OR SINGLE 6" HELIX WITH MINIMUM 50' EMBEDMENT.
- 3 FOR MEDIUM DENSE COARSE SANDS, SANDY GRAVELS, VERY STIFF SILTS, AND CLAYS USE MINIMUM (2) 4" HELICES WITH MINIMUM 30 INCH EMBEDMENT OR SINGLE 6" HELIX WITH MINIMUM 50' EMBEDMENT.
- 4 FOR LOOSE TO MEDIUM DENSE SANDS, FIRM TO STIFF CLAYS AND SILTS ALLUVIAL FILL, USE MINIMUM (2) 6" HELICES WITH MINIMUM 50' EMBEDMENT.
- 5 FOR VERY LOOSE TO MEDIUM DENSE SANDS, FIRM TO STIFFER CLAYS AND SILTS, ALLUVIAL FILL, USE MINIMUM (2) 8" HELICES WITH MINIMUM 60' EMBEDMENT.

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CLIENT: -

**EAGLE CARPORTS
210 AIRPORT ROAD
MOUNT AIRY, NC 27030
30'x16' SP UTILITY BUILDING**

DATE: 11-11-16

SHT. 8

SCALE: NTS

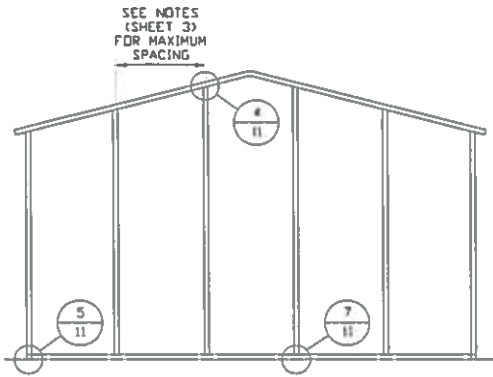
DWG. NO: SK-2

JOB NO: 16166S

REV: 1

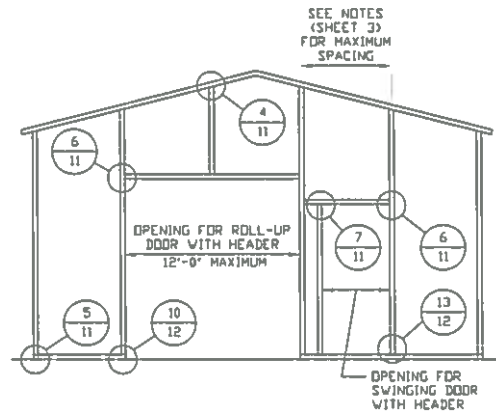
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BOX EAVE RAFTER END WALL AND SIDE WALL OPENINGS



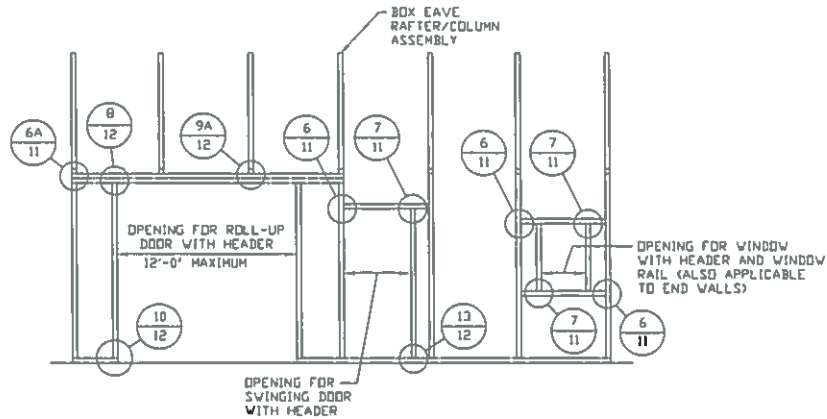
**TYPICAL BOX EAVE RAFTER
END WALL FRAMING SECTION**

SCALE: NTS



**TYPICAL BOX EAVE RAFTER END
WALL OPENINGS FRAMING SECTION**

SCALE: NTS



**TYPICAL BOX EAVE RAFTER
SIDE WALL OPENINGS FRAMING SECTION**

SCALE: NTS

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CHECKED BY: PDH

PROJECT MGR: WSM

CLIENT: -

**EAGLE CARPORTS
210 AIRPORT ROAD
MOUNT AIRY, NC 27030
30'x16' SP UTILITY BUILDING**

DATE: 11-11-16

SHT. 9

SCALE: NTS

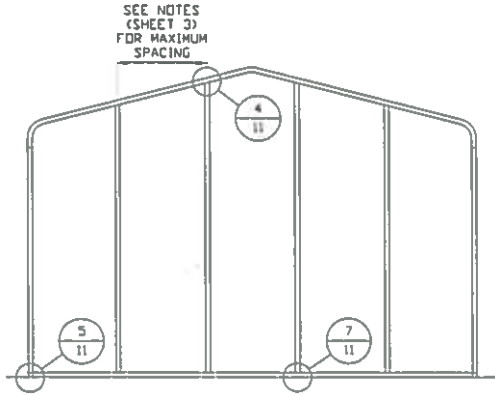
DWG. NO: SK-2

JOB NO: 16166S

REV: 1

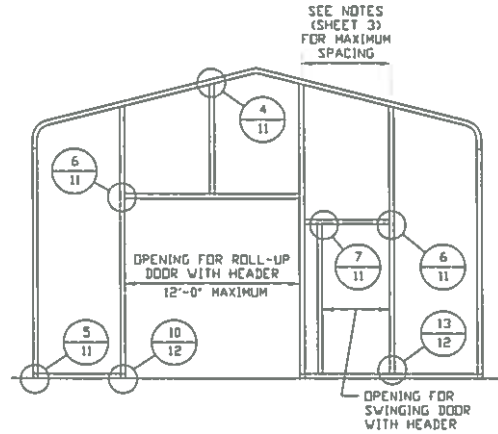
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BOW RAFTER END WALL AND SIDE WALL OPENINGS



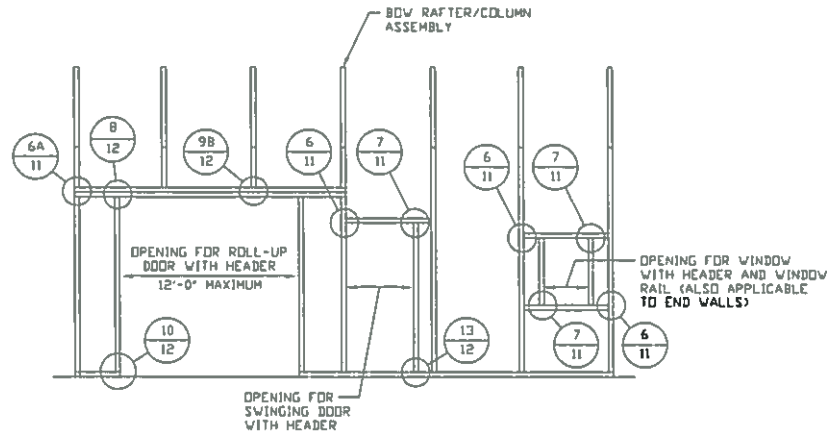
**TYPICAL BOW RAFTER
END WALL FRAMING SECTION**

SCALE: NTS



**TYPICAL BOW RAFTER END
WALL OPENINGS FRAMING SECTION**

SCALE: NTS



**TYPICAL BOW RAFTER SIDE
WALL OPENINGS FRAMING SECTION**

SCALE: NTS

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CLIENT: -

**EAGLE CARPORTS
210 AIRPORT ROAD
MOUNT AIRY, NC 27030
30'x16' SP UTILITY BUILDING**

DATE: 11-11-16

SHT. 10

SCALE: NTS

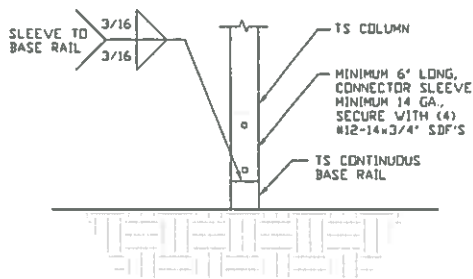
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JOB NO: 16166S

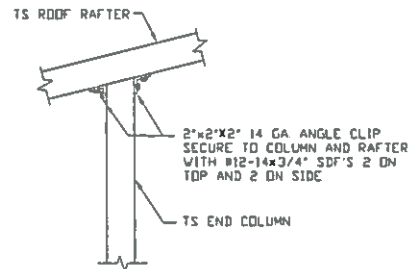
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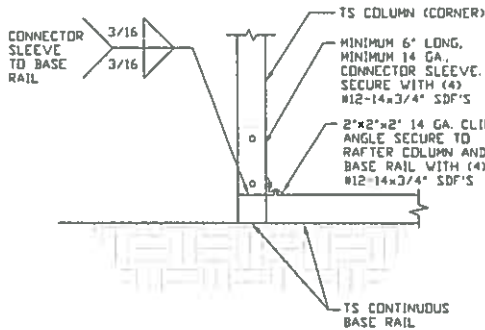
BOW AND BOX EAVE RAFTER WALL OPENING DETAILS



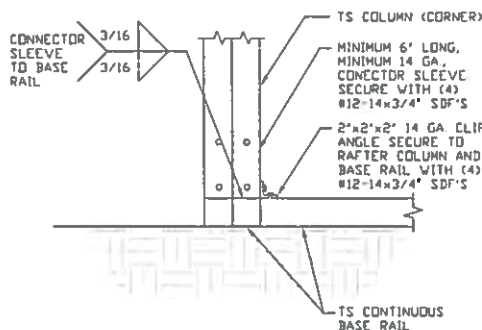
2 RAFTER COLUMN/BASE RAIL CONNECTION DETAIL
SCALE: NTS



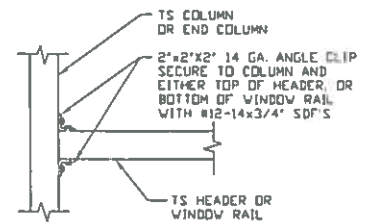
4 END COLUMN/RAFTER CONNECTION DETAIL
SCALE: NTS



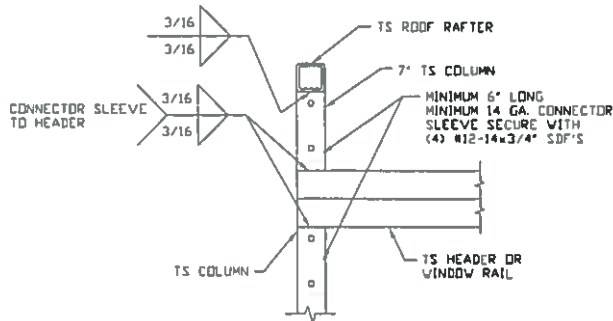
5 END COLUMN/BASE RAIL CONNECTION DETAIL
SCALE: NTS



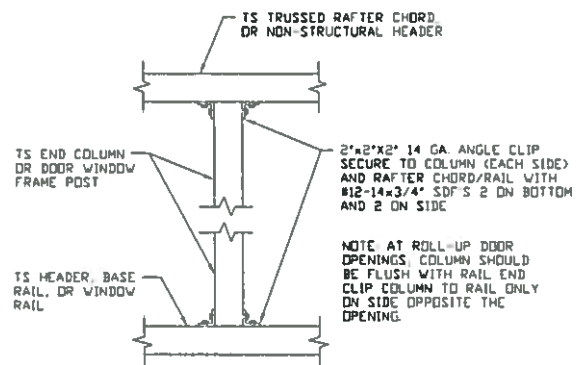
5A END COLUMN/BASE RAIL CONNECTION DETAIL
SCALE: NTS



6 COLUMN OR WINDOW RAIL TO POST CONNECTION DETAIL
SCALE: NTS



6A COLUMN OR WINDOW RAIL TO POST CONNECTION DETAIL
SCALE: NTS



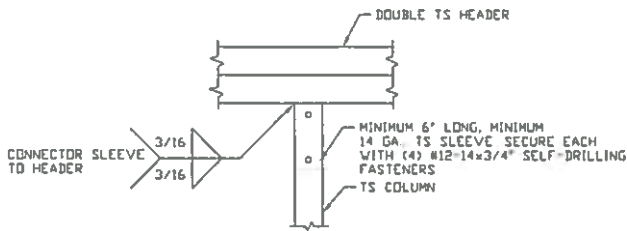
7 COLUMN TO WINDOW RAIL CONNECTION DETAIL
SCALE: NTS

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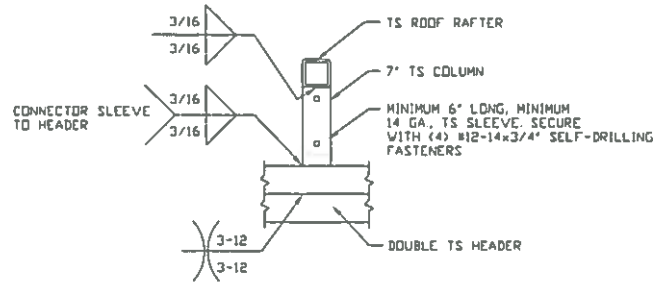
| | | | | |
|------------------|----------------|---|----------------|--|
| DRAWN BY: LT | | EAGLE CARPORTS 210 AIRPORT ROAD MOUNT AIRY, NC 27030 30'x16' SP UTILITY BUILDING | | |
| CHECKED BY: PDH | | | | |
| PROJECT MGR: VSM | DATE: 11-11-16 | SCALE: NTS | JOB NO: 16166S | |
| CLIENT: - | SHT. 11 | DWG. NO: SK-2 | REV: 1 | |

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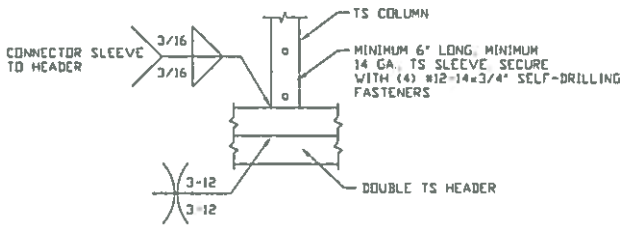
BOW AND BOX EAVE RAFTER WALL OPENING DETAILS



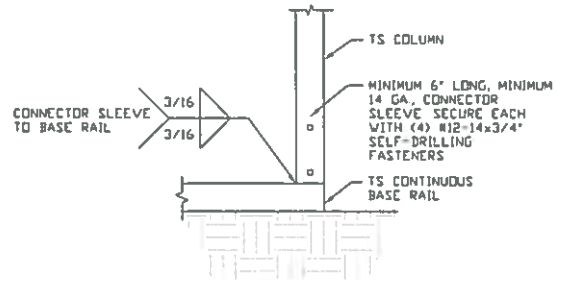
8 DOUBLE HEADER/COLUMN CONNECTION DETAIL
SCALE: NTS



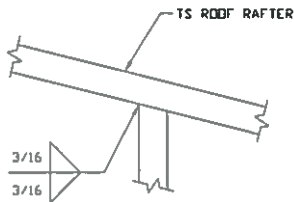
9A COLUMN/DOUBLE HEADER CONNECTION DETAIL
SCALE: NTS



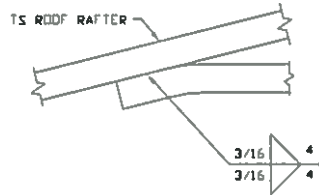
9B COLUMN/DOUBLE HEADER CONNECTION DETAIL
SCALE: NTS



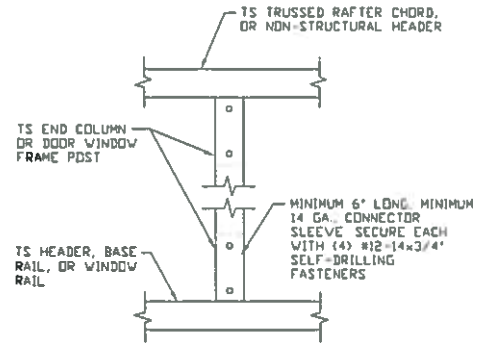
10 COLUMN/BASE RAIL CONNECTION DETAIL
SCALE: NTS



11 RAFTER TO CHORD CONNECTION DETAIL
SCALE: NTS



12 COLLAR TIE CONNECTION DETAIL
SCALE: NTS



13 COLUMN TO HEADER OR BASE RAIL CONNECTION DETAIL
SCALE: NTS

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CHECKED BY: PDH

PROJECT MGR: WSM

CLIENT: -

EAGLE CARPORTS
210 AIRPORT ROAD
MOUNT AIRY, NC 27030
30'x16' SP UTILITY BUILDING

DATE: 11-11-16

SHT. 12

SCALE: NTS

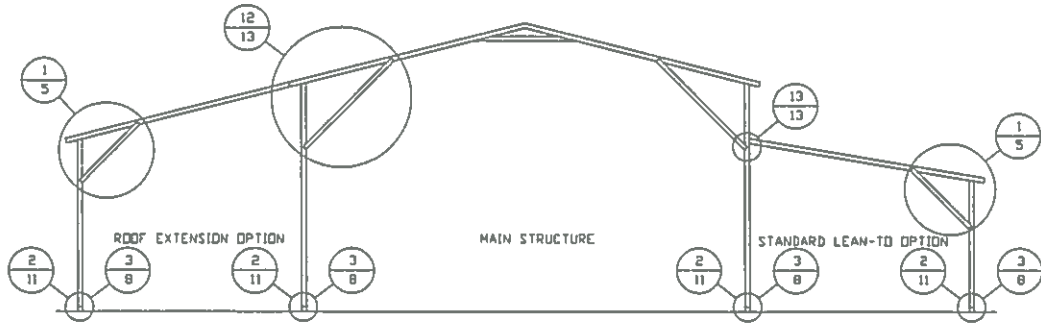
DWG. NO: SK-2

JOB NO: 16166S

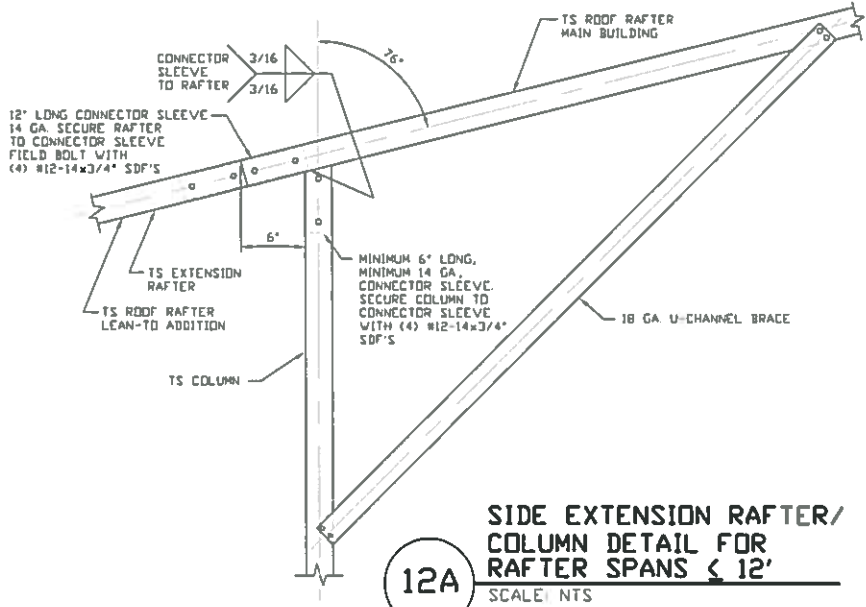
REV: 1

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BOX EAVE RAFTER LEAN-TO OPTIONS



TYPICAL BOX EAVE RAFTER LEAN-TO OPTIONS FRAMING SECTION (BOTH OPTIONS SHOWN)

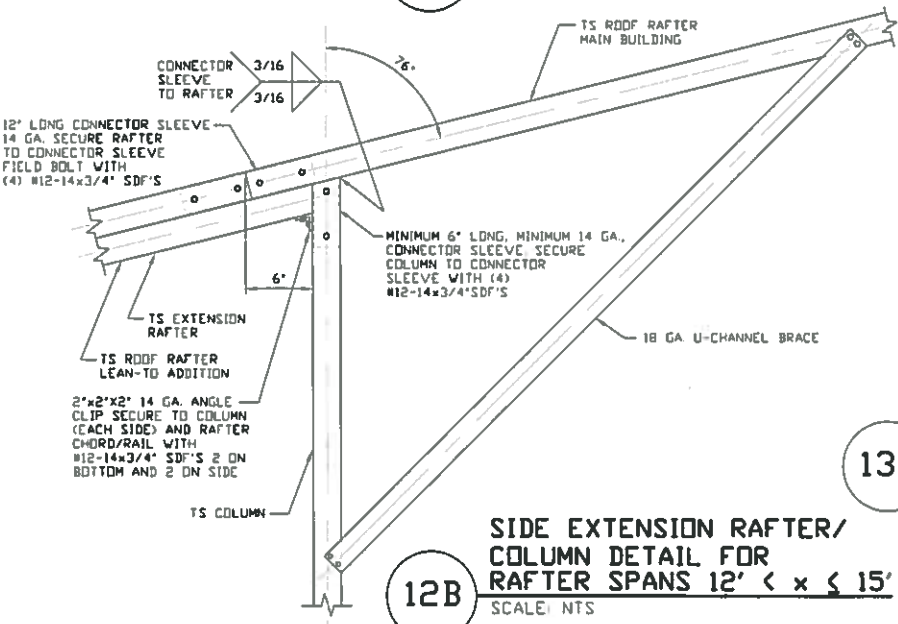


12A

**SIDE EXTENSION RAFTER/
COLUMN DETAIL FOR
RAFTER SPANS < 12'**
SCALE: NTS

13A

**LEAN-TO RAFTER TO RAFTER
COLUMN CONNECTION DETAIL
FOR RAFTER SPANS < 12'**
SCALE: NTS



12B

**SIDE EXTENSION RAFTER/
COLUMN DETAIL FOR
RAFTER SPANS 12' < x < 15'**
SCALE: NTS

13B

**LEAN-TO RAFTER TO RAFTER
COLUMN CONNECTION DETAIL
FOR RAFTER SPANS 12' < x < 15'**
SCALE: NTS

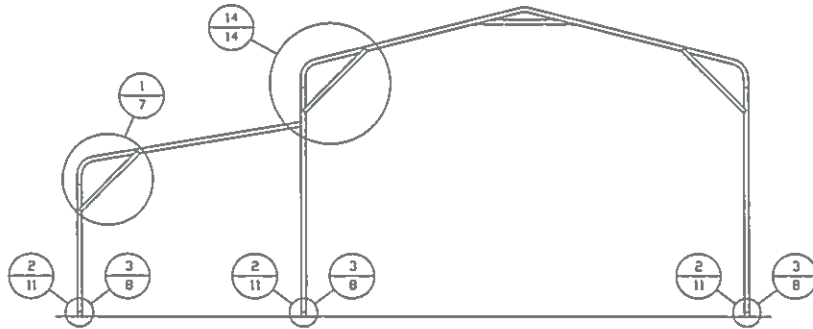
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ENGINEERING AND CONSULTING, INC.**

DRAWN BY: LT
CHECKED BY: PDH
PROJECT MGR: WSM
CLIENT: -

EAGLE CARPORTS
210 AIRPORT ROAD
MOUNT AIRY, NC 27030
30'x16' SP UTILITY BUILDING
DATE: 11-11-16
SCALE: NTS
JOB NO: 16166S
DWG. NO: SK-2
REV: 1

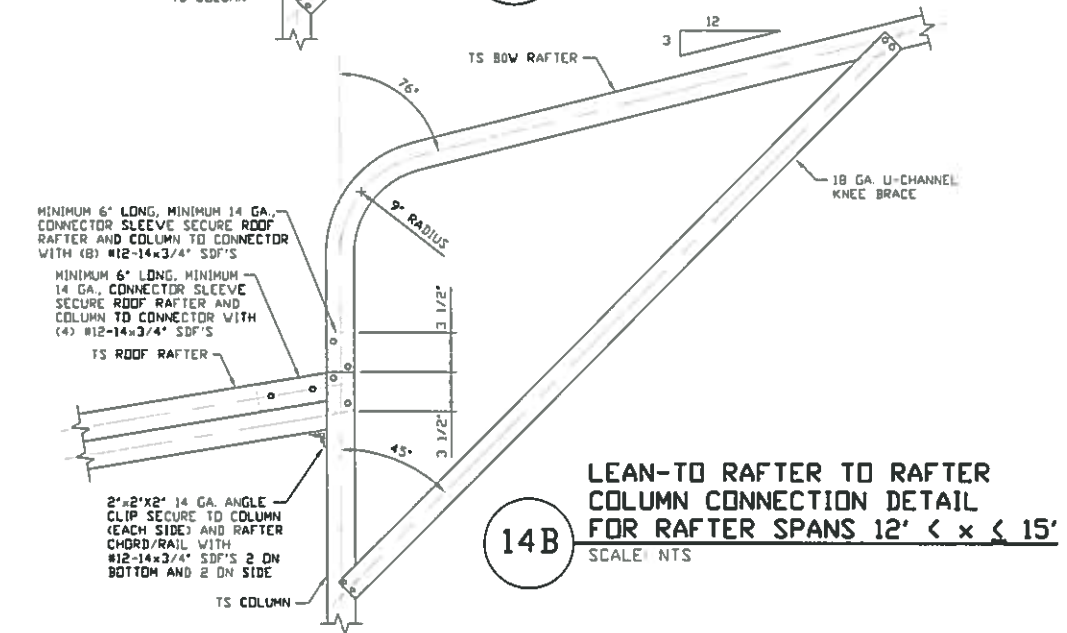
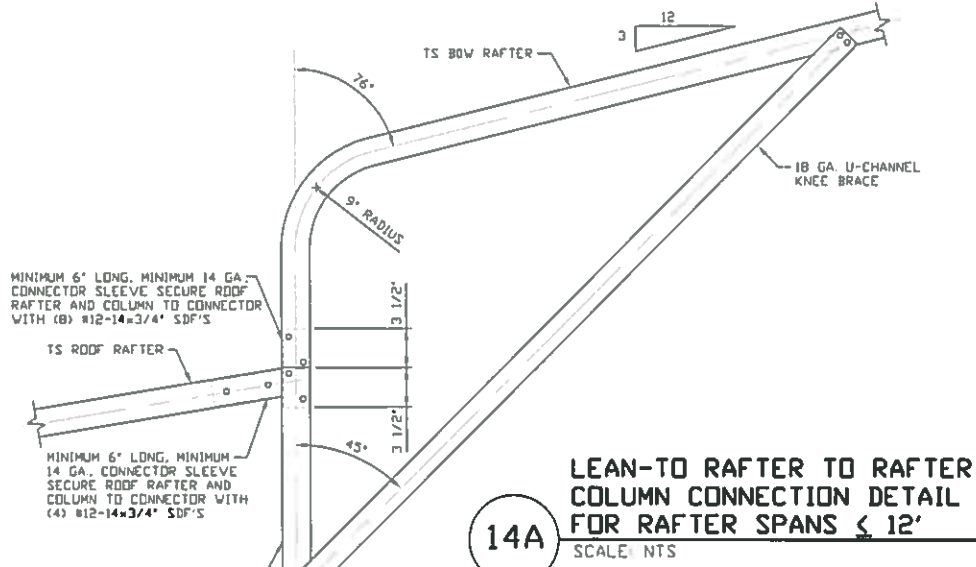
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BOW RAFTER LEAN-TO OPTION



TYPICAL BOW RAFTER LEAN-TO OPTION FRAMING SECTION

SCALE: NTS



**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

DRAWN BY: LT

CHECKED BY: PDH

PROJECT MGR: WSH

CLIENT: -

**EAGLE CARPORTS
210 AIRPORT ROAD
MOUNT AIRY, NC 27030
30'x16' SP UTILITY BUILDING**

DATE: 11-11-16

SHT. 14

SCALE: NTS

DWG. NO: SK-2

JOB NO: 16166S

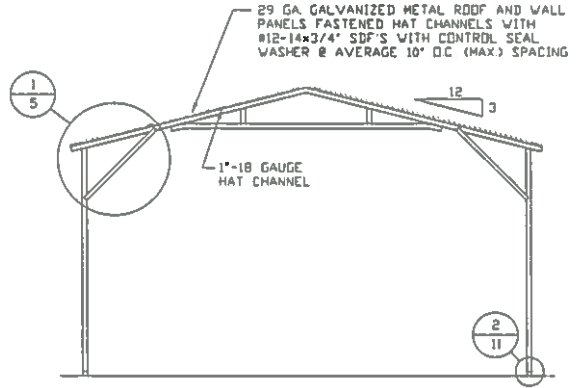
REV: 1

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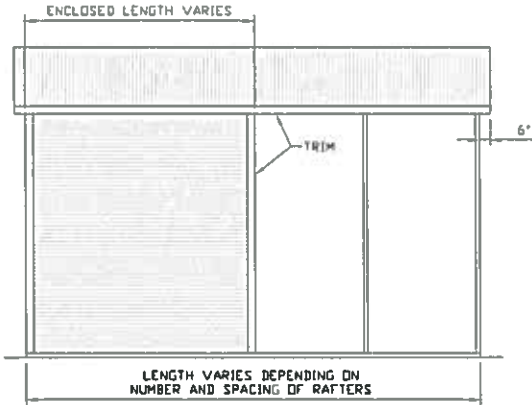
BOX EAVE RAFTER VERTICAL ROOF OPTION



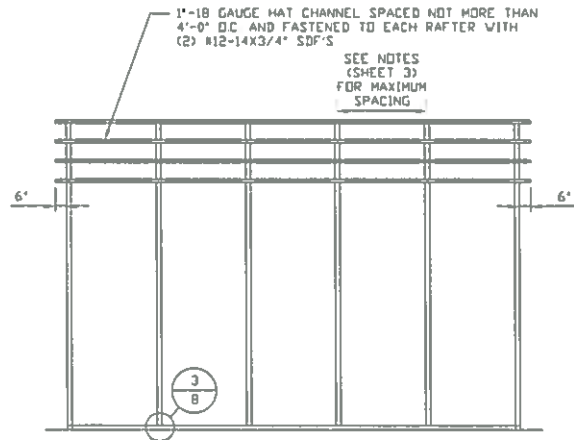
**TYPICAL END ELEVATION
VERTICAL ROOF**
SCALE: NTS



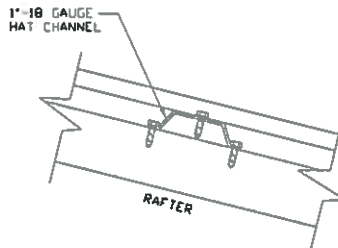
**TYPICAL SECTION
VERTICAL ROOF OPTION**
SCALE: NTS



**TYPICAL SIDE ELEVATION
VERTICAL ROOF**
SCALE: NTS



**TYPICAL FRAMING SECTION
VERTICAL ROOF OPTION**
SCALE: NTS



ROOF PANEL ATTACHMENT
(ALTERNATE FOR VERTICAL ROOF PANELS)
SCALE: NTS

**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

DRAWN BY: LT

CHECKED BY: PDH

PROJECT MGR: WSM

CLIENT: -

**EAGLE CARPORTS
210 AIRPORT ROAD
MOUNT AIRY, NC 27030
30'x16' SP UTILITY BUILDING**

DATE: 11-11-16

SHT. 15

SCALE: NTS

DWG. NO: SK-2

JOB NO: 16166S

REV: 1

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TOWN OF MESILLA
 PERMISSION TO CONDUCT WORK
 OR

OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT

OFFICIAL USE ONLY:

Case # 060852

Fee \$ 22.50

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 060852 ZONE: HR CODE: AC APPLICATION DATE: 2/14/2019

Jorge Larrazabal Name of Applicant/Owner 646.314.1667 Applicant's Telephone Number

PO Box 510 Applicant's/Owner's Mailing Address Mesilla City NM State 88046 Zip Code

LJA9372@Gmail.com Applicant's/Owner's E-mail Address

Texas Star steel LLC Contractor's Name & Address (if none, indicate Self)

915.701.9220 Contractor's Telephone Number _____ Contractor's Tax ID Number _____ Contractor's License Number _____

Address of Proposed Work: 2195 Calle de el Norte

Description of Proposed Work: Build a Carport with a storage unit

\$ 8000.00 Estimated Cost [Signature] Signature of Applicant 2-14-2019 Date

Signature of property owner if applicant is not the property owner: Doris O'Brien Enders

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and BOT before issuance of a building permit. Recorded proof of ownership with legal description of property (deed or current tax bill) along with verification of legally subdivided status of the property are required. **Plan sheets are to be no larger than 11 x 17 inches.**

FOR OFFICIAL USE ONLY

PZHAC Administrative Approval Approved Date: _____
 Approved Date: _____ BOT Disapproved Date: _____
 Disapproved Date: _____ Approved with Conditions
 Approved with conditions

FIRE INSPECTION/APPROVAL REQUIRED: ___ YES NO ___ SEE CONDITIONS

CID PERMIT/INSPECTION REQUIRED: YES ___ NO ___ SEE CONDITIONS

CONDITIONS: PZHAC REVIEW & BOT PERMIT APPROVAL REQUIRED
CID PERMIT REQUIRED

PERMISSION ISSUED/DENIED BY: _____ ISSUE DATE: _____

This Application will include the following, if checked:

1. Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was legally subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
2. Site Plan with dimensions and details.
3. Proof of legal access to the property.
4. Drainage plan.
5. Architectural style and color scheme – diagrams or elevations (Historical and commercial zones only).
6. Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
7. Other information as necessary or required by the City Code or Community Development:

**PZHAC WORK SESSION
MARCH 19, 2019
ITEM 3**

Submitted by Catherine Martinez and Linda Montoya; a request to discuss plans to replace a metal wire fence around a residential property at 1000 West University Avenue. (Case 060861) Zoned: Rural Farm (RF)

DESCRIPTION OF REQUEST:

The applicants have a 0.992 acre residential parcel on the north side of West University Avenue that is surrounded on three sides by a five foot high wire and wood stake sheep fence. The fourth side (west side bordering the Jornada Lodge #10 property) contains a cinder block wall. The applicants would like to replace the wire fence with a five foot high fence consisting of a combination of wrought iron fencing with sections of concrete block covered with stucco and painted to match the dwelling on the property (see attached site plan and photos). The concrete block sections will imitate the wall that is located at the front entryway of the dwelling. The cinder block wall on the west side of the property will remain.

CONSISTENCY WITH THE CODE:

The property is in the Rural Agricultural (RA) zoning district. Although there are no architectural requirements or guidelines for dwellings or structures in this zoning district, the PZHAC has historically tried to ensure that properties would fit in with the character of the Town. The PZHAC will need to determine if the proposed fence will be an improvement over the existing fence, and will be compatible with the area and the Town.

The applicant will be present at the work session to provide further details about the proposed construction of the walls and shed, and will be available to answer any questions that may arise.

PHOTO OF PROPERTY FROM UNIVERSITY AVENUE SHOWING THE EXISTING FENCE



PHOTO SHOWING FENCE FROM OLD FARM ROAD



PHOTO SHOWING WALL AT FRONT OF HOUSE



Doña Ana County, NM

General Reference Maps

2014 Aerial

Addresses

County Address Points

Select Search Type: Account Number Enter Value:

Maps

Legend

Map Themes

Parcels

UDC Zoning

Roads and Transportation

NM House Districts

NM Senate Districts

County Commission Districts

City Council Districts

Median Household Income

General Land Ownership

Account Number: [R0400763](#)

Parcel Number: 4007137179358

Owner: MARTINEZ CATHERINE M &
LINDA L MONTOYA

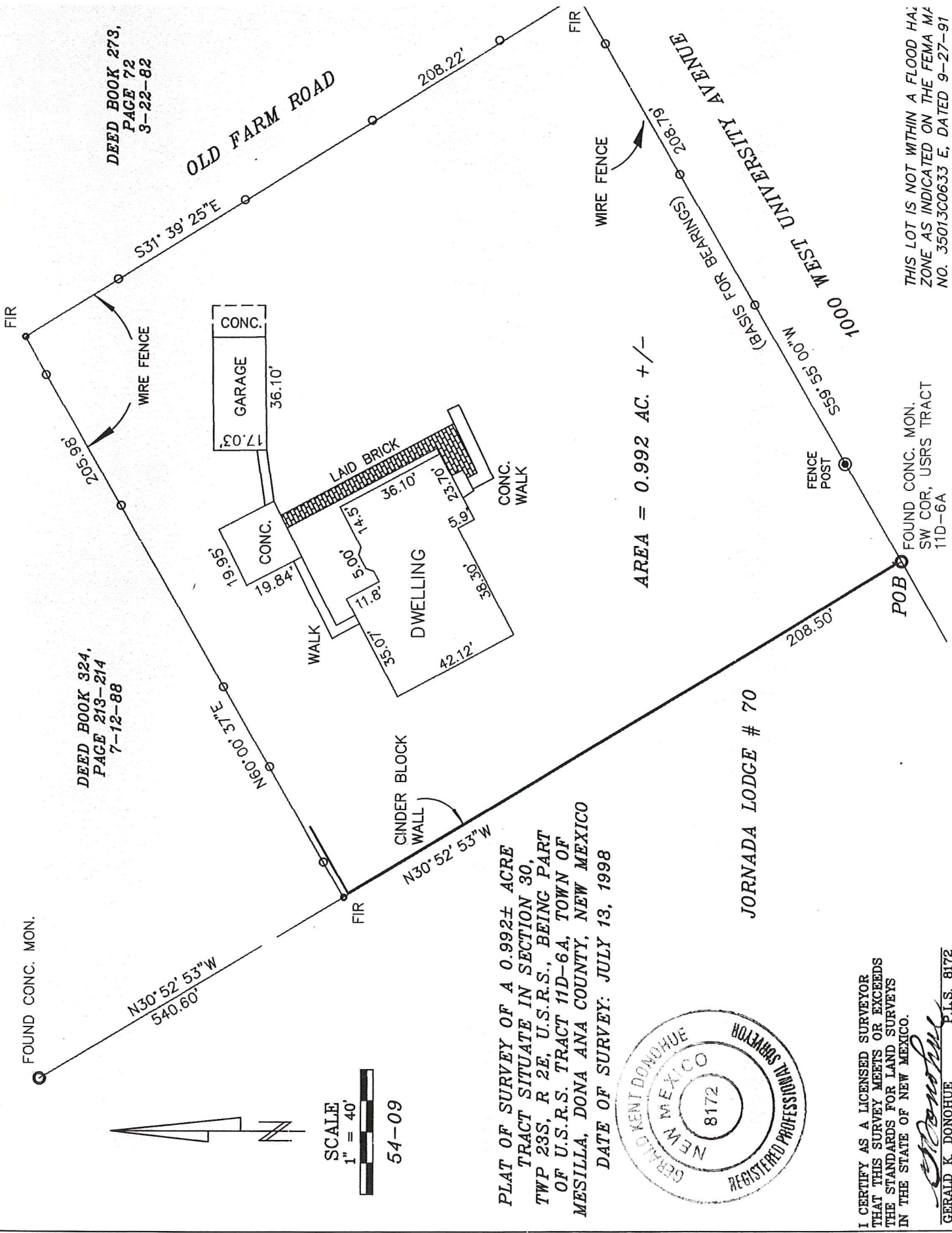
Mail Address: 1000 W UNIVERSITY
AVE

Subdivision:

Property Address: 1000 W
UNIVERSITY AVE

Acres: 1





PLAT OF SURVEY OF A 0.992± ACRE TRACT SITUATE IN SECTION 30, TWP 23S, R 2E, U.S.R.S., BEING PART OF U.S.R.S. TRACT 11D-6A, TOWN OF MESILLA, DONA ANA COUNTY, NEW MEXICO
DATE OF SURVEY: JULY 13, 1998



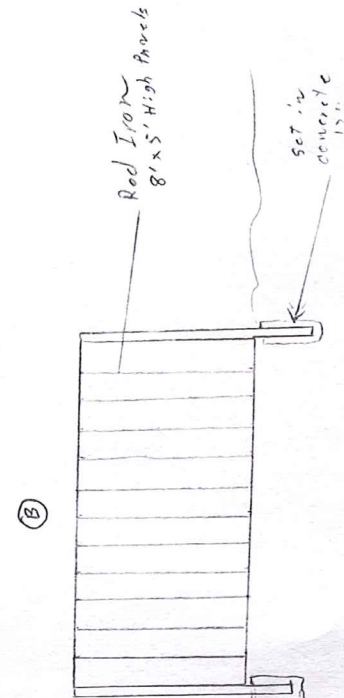
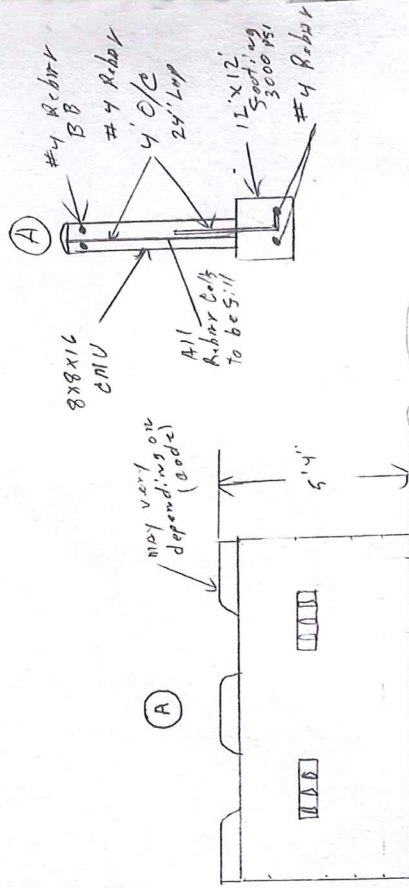
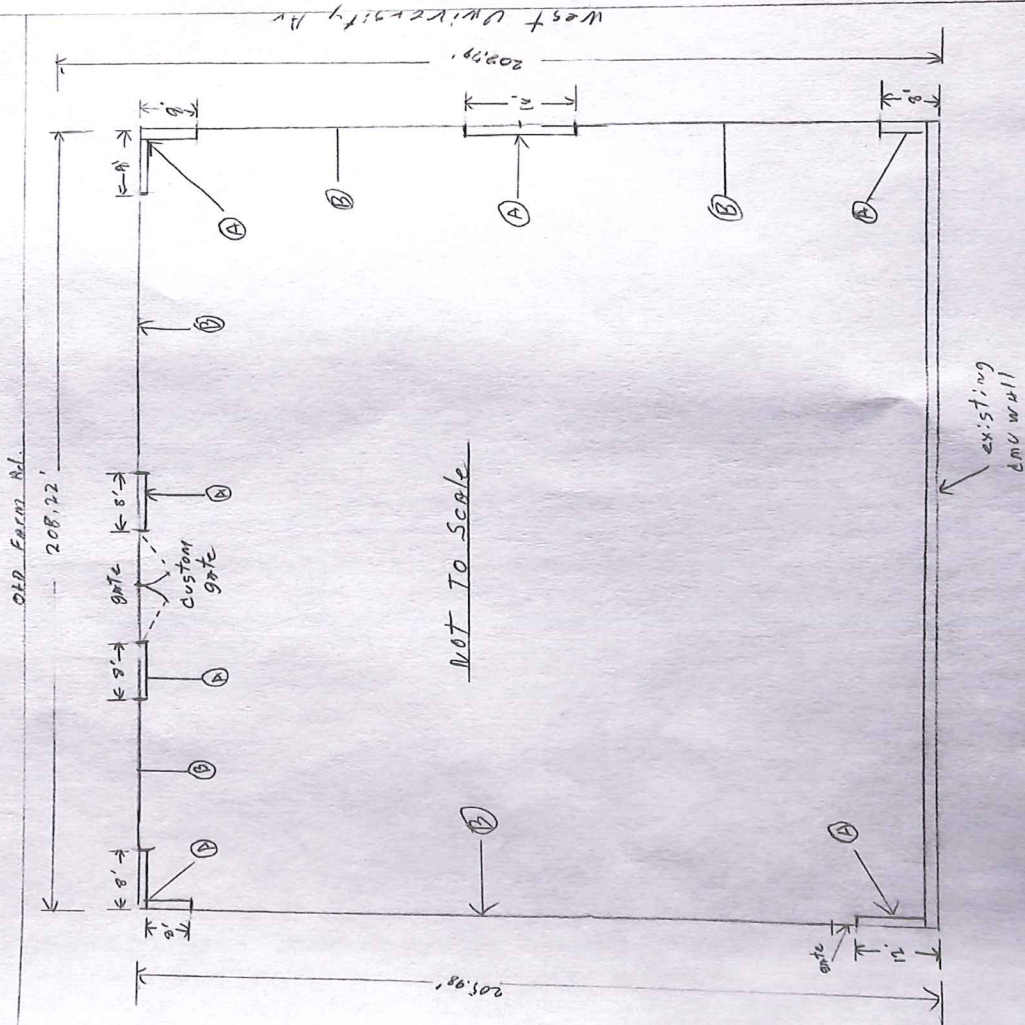
I CERTIFY AS A LICENSED SURVEYOR THAT THIS SURVEY MEETS OR EXCEEDS THE STANDARDS FOR LAND SURVEYS IN THE STATE OF NEW MEXICO.

Gerald K. Donohue
REGISTERED PROFESSIONAL SURVEYOR
NEW MEXICO
8172
P.L.S. 8172

THIS LOT IS NOT WITHIN A FLOOD HAZARD ZONE AS INDICATED ON THE FEMA MAP NO. 35013C0633 E, DATED 9-27-91

(NAME) Catherine Martinez / Linda Montoya

ADDRESS: 1000 West University Avenue - Las Cruces, NM



NOTES

TOWN OF MESILLA
 PERMISSION TO CONDUCT WORK
 OR

OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT

OFFICIAL USE ONLY:

Case # 060861

Fee \$ 110.⁰⁰

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 060861 ZONE: RA CODE: M1 APPLICATION DATE: 3/8/19

Name of Applicant/Owner: Catherine Martinez / Linda Montoya Applicant's Telephone Number: (575) 520-5060 / 575-202-9463

Applicant's/Owner's Mailing Address: 1000 West University Ave, LC, NM City: Las Cruces State: NM Zip Code: 88005

Applicant's/Owner's E-mail Address: LLMontoya@mac.com

Contractor's Name & Address (If none, indicate Self): SELF

Contractor's Telephone Number

Contractor's Tax ID Number

Contractor's License Number

Address of Proposed Work: 1000 West University Ave, Las Cruces, NM

Description of Proposed Work: Replacing Fences with wrought iron panels and on center of area on University Ave. and corners of fencing a design to match wall design of our porch. It would be castucco.

Estimated Cost: \$6,000.00

Signature of Applicant: Catherine Martinez / Linda Montoya

Date: 2/27/19

Signature of property owner if applicant is not the property owner: _____

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and BOT before issuance of a building permit. Recorded proof of ownership with legal description of property (deed or current tax bill) along with verification of legally subdivided status of the property are required. **Plan sheets are to be no larger than 11 x 17 inches.**

FOR OFFICIAL USE ONLY

| | | | |
|--------------|---|------------|---|
| PZHAC | <input type="checkbox"/> Administrative Approval | BOT | <input type="checkbox"/> Approved Date: _____ |
| | <input type="checkbox"/> Approved Date: _____ | | <input type="checkbox"/> Disapproved Date: _____ |
| | <input type="checkbox"/> Disapproved Date: _____ | | <input type="checkbox"/> Approved with Conditions |
| | <input type="checkbox"/> Approved with conditions | | |

FIRE INSPECTION/APPROVAL REQUIRED: ___ YES NO ___ SEE CONDITIONS

CID PERMIT/INSPECTION REQUIRED: ___ YES NO ___ SEE CONDITIONS

CONDITIONS: PZHAC REVIEW & APPROVAL REQUIRED

PERMISSION ISSUED/DENIED BY: _____ ISSUE DATE: _____

This Application will include the following, if checked:

1. ___ Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was legally subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
2. ___ Site Plan with dimensions and details.
3. ___ Proof of legal access to the property.
4. ___ Drainage plan.
5. ___ Architectural style and color scheme – diagrams or elevations (Historical and commercial zones only).
6. ___ Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
7. ___ Other information as necessary or required by the City Code or Community Development:

**PZHAC WORK SESSION
MARCH 18, 2019
ITEM 4**

Submitted by Jake Quinones of Quinones Design/Build for Emilie Cano; a request to discuss plans to repair the adobe walls and roof on a dwelling at 2206 Avenida de Mesilla. (**Case 060862**) Zoned: Historical Commercial (HC)

DESCRIPTION OF REQUEST:

The applicant would like to repair a number of serious problems with the stucco and underlying adobe throughout the exterior walls of the dwelling, deteriorating wood surrounding some of the doors and windows, a collapsing patio roof, and leaks caused by a severely deteriorating roof over the main dwellings (see attached scope of work). The work is to be done by Quinones Design/Build of Las Cruces. Staff has met with Jake Quinones, Site Superintendent for the company to discuss the work to be done to ensure that the repairs will comply with Section 18.33 (Historic Preservation) of the Code with respect to repairs to Historic Structures.

According to Mr. Quinones, any repairs that entail removal or replacement of any portions of the dwelling will be done in such a way as to retain the architectural and historic character of the dwelling. Other than removal of the patio roof, which is collapsing and cannot be replaced without removal of the supporting walls, there will not be any changes to the appearance of the exterior of the dwelling. (The patio roof was added in the 1960's and cannot be seen from outside the back yard.) All repairs will be refinished and painted to match the existing dwelling.

The dwelling is in the Historic Register and the original dwelling appears to have been built around 1890. A number of additions and alterations (including the addition of a second story) were done in the 1960's that changed the appearance of the original structure, but maintained the historical architecture of the area. These additions were recognized in award from the Dona Ana Historical Society in 1970 citing the dwelling as a "Building Adhering to Regional Architecture" (see attached Register work sheet). Most of the repairs to be done will be to these additions.

CONSISTENCY WITH THE CODE:

The PZHAC will need to determine that the proposed wall repairs will be compatible with the historical aspect of the surrounding area, and will be consistent with the following section of the Code:

Chapter 18.35 HR – Historical Residential Zone

The proposed wall could be compatible with the HR zoning of the property if it is completed and painted to match the rest of the dwelling.

The applicant will be present at the work session to provide further details about the proposed construction of the walls and shed, and will be available to answer any questions that may arise.

PHOTO OF PROPERTY FROM AVENIDA DE MESILLA



FROM THE “DONA ANA COUNTY HISTORIC SOCIETY” WEBSITE:

Building Adhering to Regional Architecture

This award recognizes a building in Doña Ana County built in recent times that follows the historical architectural style characteristic of New Mexico and the Southwest. Residential and commercial/industrial buildings in Doña Ana County are eligible and owners may also nominate.

| | | |
|------|---|--------------------|
| 1967 | Thomas Branigan Memorial Library (Branigan Cultural Center) | 501 N. Main Street |
| | Ernst and Eugenia Artschwager Home | Las Cruces |
| 1968 | Popular Dry Goods Company | 139 N. Main |
| | Sarah Hay (Gay?) Home | Las Cruces |
| 1969 | Sosa Building | 330 S. Reymond St |
| | Louis E. Freudenthal Home | Las Cruces |
| 1970 | Los Arcos | Mesilla |
| | Casa Tio Manuel (Cano Home) | Mesilla |

Doña Ana County, NM

General Reference Maps

2014 Aerial

Addresses

County Address Points

Select Search Type: Account Number Enter Value:

Maps

Legend

Map Themes

Parcels

UDC Zoning

Roads and Transportation

NM House Districts

NM Senate Districts

County Commission Districts

City Council Districts

Median Household Income

General Land Ownership

Account Number: [R0400317](#)

Parcel Number: 4006137235390

Owner: CANO EMILIE LUISE

Mail Address: 2206 AVENIDA DE
MESILLA

Subdivision:

Property Address: 2206 AVENIDA DE
MESILLA

Acres: 0



Cano Residence
2206 Avenida de Mesilla
Las Cruces, NM 88005

Project Organizer and Contractor:

Quinones Design/Build
9201 Dripping Springs Rd.
Las Cruces, NM 88011

Project Manager:

Jake Quinones, Site Superintendent
575-524-4646
Email: info@quinoneshomes.com

**Overview of Outstanding Issues and Subsequent Scope or Work for Project at 2206
Avenida de Mesilla**

Roofing Throughout the home's roof areas, water infiltration points are numerous. Areas of immediate concern include roof/plasterwork junctions, parapet walls, and penetrations displaying cracks, voids, and delamination. The roof's drainage outlets (or canals) are undersized and not sealed/flushed properly within the wall cavity. During and after downpours, water is pooling on the roof surface allowing water infiltration into the roofing system, adobe wall sections, and home interior. *Recommended course of action:* All roofing should be removed and replaced with a 4-ply fiberglass embedded build-up asphalt roofing system featuring a mineral embedded cap sheet. Where applicable, roof edge flashings should be removed and replaced, where applicable, roof edge soffit and fascia should be removed and replaced; these areas feature apparent and widespread degradation and water infiltration zones. The small shingled/pitched roof at the south end of the property is in serviceable condition and can remain intact. The exposed HVAC units and ductwork will need to be removed and reinstalled for the roofing work. All canals will need to be removed and replaced completely during the re-roofing process. New canals will need to be upsized to allow for proper water drainage and to prevent debris blockage. With roof replacement, the flashings that surround certain roof sections will need to be removed. Where roofing material adjoins parapet walls and the home's plaster system; roofing replacement will necessitate extensive plaster system work and repairs.

Exterior Plaster The home's exterior plaster system features widespread cracking, chips, and damage related to water infiltration, weathering, settling, and age. Possible water infiltration points in the upper level wall sections and parapet walls include areas of deterioration where the plaster system's base coat, lath, and underlayment are exposed. Leak areas within the home are directly adjacent to problematic (and suspect) exterior plaster areas. Ornamental exterior wood features such as vigas (such as those located at the front entry door) and faux lentils (located above some windows) are allowing water to flow into the home through the wood itself and

large voids between the woodwork and plaster system. With roof removal/replacement, the scope of this work would bring roofing material over the parapet walls, and extended (approximately 18-inches) up affected upper section walls. Further, removal of flashings in the upper section wall areas would directly affect the exterior plaster system. The roofing work in itself will necessitate major plaster system repairs. The entire home's existing exterior plaster is in need of extensive repair work and stabilization followed by new plaster system installation. *Recommended course of action:* All exterior wood features that tie into existing plaster system should be removed (as possible and as necessary) and patched/plastered over. A new modern plaster system (to match existing home exterior finish and color) will need to be installed over all existing plasterwork. New plaster system installation would include patching major cracks and damage to existing plaster, application of fiberglass reinforced mesh embedded in masonry adhesive over all exterior wall and parapet areas, and final application of elastomeric based (textured and colored) masonry. The above scope of work would also include plaster repair work and repairs for structural repairs/work (as noted below).

Main Entryway Room Reconstruction Entryway room ceiling/roof and exterior wall/window must be completely removed and rebuilt. The sagging wall, window, and ceiling areas are irreparable and may lead to further structural failure and poses a hazard. The Homeowner has placed a post support under the buckled ceiling section to help prevent roof collapse, but this measure is temporary at best. This work would entail major demolition and haul away of waste materials, framing of new wall, window and door openings, and rafter (all framing to be wood), insulation, new window installation, new door installation, exterior sheathing and plaster system installation, roofing system installation, interior wall/ceiling finishes, and all related work/materials. Please Note: the existing door and windows are not part of the home's original adobe construction (1960's era installation).

Patio Cover and Fire Place Removal This structure must be completely removed. The sagging structure is irreparable and subject to collapse and further damage of surrounding walls/structures. This structure presently poses a hazard. The Homeowner has placed post supports under the buckled ceiling section to help prevent roof collapse, but this measure is temporary at best. This work would entail major demolition and haul away of waste materials. Existing chimney, brick wall, and all adobe wall/architectural features to remain. Only sagging/failing fireplace ceiling/roof structure will be removed. On east facing fireplace patio parapet wall. (2) Canalies (1960's era installation) will be removed and patched/textured over. Street facing window panels to remain.

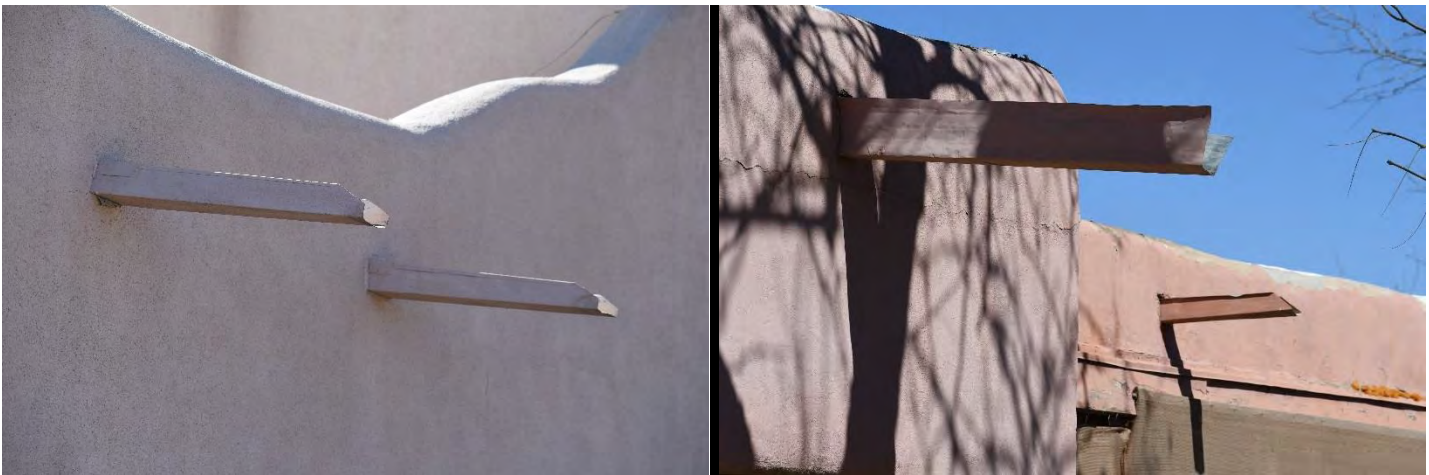
North Carport Exterior Half Wall Construction The Homeowner has requested a half wall be constructed in place of plywood sheathing that is currently servicing as a wall/partition. The new half wall would be approximately 4-feet in height and taper upwards with a step feature similar to the home's existing architecture where the wall meets the carport. The wall construction would consist of a concrete footing, wood framing, wood sheathing, moisture barrier/membrane, lath and plaster system (to match existing home exterior finish and color). The wall would feature a bullnose top to complement the home's existing architecture.

Roof Replacement Scope of Work

For all BUR roof sections: Roof-top HVAC equipment and ductwork will be removed for roof installation work and reinstalled upon roof work completion. Includes roof system, flashing, and soffit/facia removal/disposal. Includes roof demolition material haul away and waste disposal fees. New soffit and fascia will be installed. New metal drip edge will be installed. New roof vents will be installed. New enlarged canals will be installed. New canalie design will existing design/s but allow for proper water drainage. A new 4-ply fiberglass embedded build-up asphalt roofing system (BUR) will be installed over all existing roof areas. Cap sheet (or ply #4) will be mineral embedded. All roof penetrations/flashings will be treated and sealed.



Photos: East roof section. Complete BUR removal and replacement.



Photos: North and south facing canals. All canals will be replaced. New enlarged canals will be installed. New canalie design will match existing design/s but allow for proper water drainage.

Continued - Roof Replacement Scope of Work



Photo: West roof section. All soffit and fascia will be removed and replaced



Photos: East roof section.



Photos: South facing roof section.

Exterior Plaster Scope of Work

For entire home exterior: Damaged/cracked plaster areas will be patched/repared with basecoat and bonder as necessary. High impact fiberglass fabric mesh will be embedded in skim coat over entire exterior plaster area of home including vertical walls and parapet wall areas. J-flashings will be installed at roof/plaster interface zones to allow full roof system and plaster system interface/overlap. Colored elastomeric stucco (final coat) will be applied over entire exterior plaster area of home and floated (textured) with sand finish. Color will be matched to existing exterior plaster color or as close as possible.



Photos: Examples of widespread exterior plaster issues

Continued Exterior Plaster Scope of Work

Ornamental exterior wood features such as the vigas located at the front entry door are allowing water to flow into the home through the wood itself and large voids between the woodwork and plaster.



Photo/s: Entryway feature's left and right vigas are not part of the home's original architecture. The central viga (over the doorway) is original. The left and right vigas will be removed and patched over. The central viga will remain.



Continued Exterior Plaster Scope of Work

Ornamental wood features such as the faux lentils located above the two NE facing windows are allowing water to flow into the home through the wood itself and large voids between the woodwork and plaster system. These faux lentils will be removed prior to plaster system work and replaced after plaster system work completion. Wood feature in half wall to remain.



Main Entryway Room Reconstruction Scope of Work

Major demolition of roof and south facing wall in Entryway room. Includes roof demolition material haul away and waste disposal fees. Includes framing of new raftered roof section and south facing exterior wall section. Includes roof decking installation. New door and new windows will be installed on south facing wall. Insulation will be installed in new exterior wall section. Drywall will be installed over interior side of new wall section and ceiling area. Interior wall finish (texture) and paint to match existing or as close as possible. Exterior sheathing will be installed over exterior side of new wall section. Water proofing membrane, metal lath, and plaster system will be installed over exterior wall sheathing.



Photo: South facing wall of main entry room. Only wall section with door and windows (corner to corner) will be removed and rebuild. This wall is not part of the home's original construction, however, no change to the overall architecture will be made. Door and windows will be replaced.

Fireplace Patio Scope of Work

Demolition and removal of patio cover roof, ceiling, beams, and post supports.



Photos: Backyard view of fireplace patio cover. Patio cover roof, ceiling, beams, and post supports to be completely removed. All patio wall sections to remain. Patio roof will not be reconstructed to allow for open air outdoor area. Two temporary post supports have been installed to help slow and/or prevent further structural failure and/or collapse.



Photos: Roofline view of fireplace patio cover structure. Existing chimney, brick wall, and all adobe wall/architectural features to remain.

Continued - Fireplace Patio Scope of Work



Photos: Upward view of fireplace patio cover. Patio cover roof, ceiling, beams, and post supports to be completely removed. All patio wall sections to remain. Patio roof will not be reconstructed to allow for open air outdoor area. Two temporary post supports have been installed to help slow and/or prevent further structural failure and/or collapse.



Photos: South and East sides of fireplace patio walls. Existing chimney, brick wall, and all adobe wall/architectural features to remain. Only sagging/failing fireplace ceiling/roof structure will be removed. On east facing fireplace patio parapet wall. (2) Canals (1960's era installation) will be removed and patched/textured over. Window panels to remain.

North Carport Exterior Half Wall Construction

The Homeowner has requested a half wall be constructed in place of plywood sheeting that is currently servicing as a wall/partition.



Photo: Proposed half-wall. The new half wall would be approximately 4-feet in height and taper upwards with a step feature similar to the home's existing architecture where the wall meets the carport. The wall construction would consist of a concrete footing, wood framing, wood sheathing, moisture barrier/membrane, lath and plaster system (to match existing home exterior finish and color). The wall would feature a bullnose top to complement the home's existing architecture.



Photo: Existing plywood sheeting that is currently servicing as a wall/partition.

IRON REJAS FROM MEXICO COVER EACH OF THE WINDOWS. COMPLIMENTARY WROUGHT IRON LANTERNS HANG ON EACH SIDE OF THE PORTAL. THREE LARGE YUCCAS BROUGHT FROM THE DESERT AND PLANTED BY MR. TORRES HIMSELF APPROPRIATELY FLANK LOS ARCOS.

WHEN SO MANY OF THE OLD BUILDINGS OF THE REGION ARE BEING DEMOLISHED, IT IS SATISFYING TO FIND THAT PEOPLE LIKE MR. AND MRS. TORRES ARE RETAINING MUCH OF THE BASIC STRUCTURES OF AN OLD ADobe IN REMODELING. WE COMMENT THEM FOR THIS.

4th Annual Banquet
CASA TIO MANUEL

WHAT ARE THE INGREDIENTS OF A COMMUNITY WHICH PULL NATIVE SONS BACK AND CAUSE THEM TO BECOME LEADING FORCES IN PRESERVING ITS HIGH HERITAGE? THIS COULD BE THE SUBJECT OF AN EXTENSIVE RESEARCH STUDY WHICH WE ARE NOT PREPARED TO DEVELOP. HOWEVER, THE PRODUCT OF FAR-REACHING INTEREST IN FAMILY AND COMMUNITY HERITAGE IS BEING CITED TONIGHT AS THE HOME OF MR. AND MRS. RAYMOND CANO IS NAMED THE RESIDENCE ADHERING MOST CLOSELY TO TRADITIONAL REGIONAL ARCHITECTURAL LINES.

RAYMOND CANO WAS BORN AND REARED IN LA MESILLA. SOMETIME AFTER RECEIVING HIS DEGREE AT NEW MEXICO STATE UNIVERSITY HE WAS EMPLOYED OVERSEAS WHERE HE MET AND MARRIED EMILIE HARMS OF GERMAN BACKGROUND, WHOSE CULTURAL INTERESTS COMPLIMENTED THOSE OF HER HUSBAND. MR. AND MRS. CANO RETURNED TO MESILLA WHERE THEY PURCHASED PROPERTY BELONGING TO MR. CANO'S AUNT AND UNCLE MANUEL AND FLORENTINA FIERRO. THIS HOME, THIS YEAR'S ARCHITECTURAL AWARDS RECIPIENT, HAS BEEN REFURBISHED AND ADDED TO. THE HOUSE, OF PUEBLO DESIGN, IS BUILT FLUSH WITH THE STREET; THE FRONT ENTRANCE LEADS INTO A SOLARIUM WHICH IS AN EXTENSION OF THE LIVING ROOM. THE LIVING ROOM PROVIDES ACCESS TO THE KITCHEN AND A BEDROOM ON THE SOUTH; A HALL-LIBRARY CONNECTS WITH THE HOME'S NEW ADDITION. BEAMED CEILINGS IN THIS LARGE AUTHENTIC ADDITION RISE TO A TWO-STORY HEIGHT TO PROVIDE ROOM FOR A SPACIOUS BALCONY ON THE NORTH AND FLOOR-TO-CEILING WINDOWS ON THE SOUTH. FROM THE BALCONY ONE CAN LOOK ACROSS THE VALLEY FROM THE ORGANS TO PICACHO; FROM THE ROOM'S BALCONY STAIRCASE THE EYE MOVES TO VARIOUS INTEREST CENTERS -- TO THE NATIVE STONE FOUNTAIN WITH BRONZE FIGURE BROUGHT BY MILA AND RAY CANO FROM ROME; ACROSS THE RED CLAY FLOOR TILE TO LIVE GREENERY CONTAINED IN LAVA-STONE; TOWARD THE SOUTH, WINDOWS AND A DOORWAY INTO AN ENCLOSED PATIO WHICH EXTENDS COMPLETELY

ACROSS THE SOUTHERN SIDE OF THE HOME; OR THROUGH THE DOORWAYS IN THE WEST LEADING TO THE SPACIOUS MASTER BEDROOM AND TO THE CHILDREN'S ROOM.

THE FEELING FOR FAMILY AND THE FAMILY'S OUTGOING WARMTH ARE REFLECTED IN VARIOUS WAYS IN THE CANO HOME; THE CARVED INSCRIPTION OVER THE LIVING ROOM DOOR--BIENVENIDOS A CASA TIO MANUEL; THE CHILD-CENTERED AREAS FOR PAINTING, PLAYING, LISTENING, READING; BUILT FOR FAMILY AND FRIENDS. IT IS A HOME BUILT IN PERFECT HARMONY WITH ITS SURROUNDINGS.

THE CONCERN MR. AND MRS. CANO SHOW FOR THE TOWN OF LA MESILLA'S DEVELOPMENT IN TERMS OF REGIONAL ARCHITECTURAL AUTHENTICITY IS LAUDATORY. THE DONA ANA COUNTY HISTORICAL SOCIETY IS PLEASED TO MAKE THIS AWARD TO THIS STRUCTURE OF REGIONAL SIGNIFICANCE.

- 13 A high gabled roof with eye brow dormers, marks this residence. built in 1912 or 1913 by John Bombach for his brother Otto, a prominent merchant around the turn of the century. in Mesilla. The eastern influence exemplified by this style makes it unique in Mesilla. (S)
- 14 This unplastered concrete block building exhibits various colors. It has a flat roof, large overhangs, and large plate glass windows., est. 1960. (I)
- 15 This commercial building is of exposed field stone with a Simplified Mission parapet. It is rectangular in plan. est. 1940. (N)
- 16 This small stuccoed adobe has a flat roof and large plate glass windows on the facade. est. 1945. (N)
- 17 This used to be Mesilla Elementary School, built about 1950. It has a flat roof over the classrooms and a gabled roof over the gymnasium. The building is of concrete block with metal frame windows. Now it is used as office space for the Las Cruces School system. (N)
- 18 This small, square adobe residence has a wood frame and metal casement windows. The hip roof has been added in the past 15 years. est. 1930. (C)
- 19 This long rectangular plan adobe residence has a flat roof with tin canales piercing the flat parapet. Windows are deeply recessed and are of wood and metal casements. Remnants of an old rebote (handball) court are at the SW conner of the residence. This was one of the social centers during the early part of this century and had been the Cano residence for many years. est. 1890. (S)
- 20 This square plan adobe house has a hip roof with asphalt shingles and metal casement windows. est. 1920. (C)
- 21 This Spanish/Pueblo Revival residence belongs to Raymond Cano, who says that the core of the house dates from 1912. A two story addition covers part of the ground floor. The residence is stuccoed, has gentle contoured lines, and wood frame windows. (C)
- 22 The core of this residence is believed to be the remnants of Kelly's mill, dating from the 1860's when this site was at the north end of the Confederate Gran Plaza. A map found in the courthouse records locates the mill at the same spot where this house now stands. Now a residence, this structure is of stuccoed adobe, has wood frame and metal frame windows, and a flat roof with tin canales piercing the flat parapet. est. 1860. (S)

TOWN OF MESILLA
 PERMISSION TO CONDUCT WORK
 OR
 OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT

OFFICIAL USE ONLY:
 Case # 060862
 Fee \$ 198.00

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 060862 ZONE: NC CODE: AL APPLICATION DATE: _____

Mila Cano
 Name of Applicant/Owner
 2206 Avenida de Mesilla Mesilla NM 88005
 Applicant's Telephone Number
 Applicant's/Owner's Mailing Address City State Zip Code
 raymilacano@gmail.com or Raymond (son) canoclan5@att.net
 Applicant's/Owner's E-mail Address
 Quinones Design/Build; 9201 Dripping Springs Rd.; Las Cruces, NM 88011
 Contractor's Name & Address (If none, indicate Self)
 524-4646 02-234472-00-1 54879
 Contractor's Telephone Number Contractor's Tax ID Number Contractor's License Number

Address of Proposed Work: 2206 Avenida de Mesilla

Description of Proposed Work: Re-roof, Exterior Plaster Repairs/Restoration, Main-Entry Room Reconstruction, Patio Cover and Fireplace removal, North Carport Half Wall Construction

\$ 125,000.00 Estimated Cost
E. L. Cano Signature of Applicant
 3/11/19 Date

Signature of property owner if applicant is not the property owner: _____

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and BOT before issuance of a building permit. Recorded proof of ownership with legal description of property (deed or current tax bill) along with verification of legally subdivided status of the property are required. Plan sheets are to be no larger than 11 x 17 inches.

FOR OFFICIAL USE ONLY

PZHAC Administrative Approval Approved Date: _____
 Approved Date: _____ Disapproved Date: _____
 Disapproved Date: _____ Approved with Conditions
 Approved with conditions

FIRE INSPECTION/APPROVAL REQUIRED: ___ YES NO ___ SEE CONDITIONS

CID PERMIT/INSPECTION REQUIRED: YES ___ NO ___ SEE CONDITIONS

CONDITIONS: PZHAC REVIEW & BOT FINAL APPROVAL REQUIRED
CID PERMITS REQUIRED
W

PERMISSION ISSUED/DENIED BY: _____ ISSUE DATE: _____

- This Application will include the following, if checked:
- Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was **legally** subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
 - Site Plan with dimensions and details.
 - Proof of legal access to the property.
 - Drainage plan.
 - Architectural style and color scheme – diagrams or elevations (Historical and commercial zones only).
 - Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
 - Other information as necessary or required by the City Code or Community Development:

**WORK SESSION
MARCH 18, 2019
ITEM 5**

Submitted by Conrad Estrada Images N'Iron for Little Fawn Boland; a request to discuss a modification to a permit approved 1/16/18 to allow gates to be installed on a front wall of a dwelling at 2196 Calle de San Albino. (Case 060653) Zoned: Historical Residential (HR)

DESCRIPTION OF REQUEST:

The applicant is requesting a modification to a permit issued in 2018 to allow gates to be added to the wall along Calle de Medanos (see attached site plans). The gates across the two driveways will consist of metal panels (as shown in the attached plans) that will either open inwards; or will be set in a single a (eastern gate) or bi-fold (western gate) pattern that will extend about 20 inches past the property line to the curb line of Calle de Medanos when opened (see attached site plans). The gates should not be allowed to extend past the curb line into the street, and should not be allowed to interfere with traffic or parking on the street. Additionally, the gates should be limited to a height of three feet in order to allow for a clear-sight-triangle for each gate.

The gates for the driveways will be constructed of cedar panels painted blue in a rust brown metal frame. (The colors will need to be approved for the Historic District.) The gate for the entryway will be similar to the driveway gates.

The PZHAC will need to determine that the proposed gates will be compatible with the development or other properties in the area, and for the zoning of the property.

CONSISTENCY WITH THE CODE:

The PZHAC will need to determine that the proposed gates be compatible with the historical aspect of the surrounding area, and will be consistent with Section 18.33 (Historic Preservation) of the MTC.

The applicant will be present at the work session to provide further details about the proposed construction of the walls and shed, and will be available to answer any questions that may arise.

PHOTO OF PROPERTY FROM CALLE DE MEDANOS



PHOTO OF PROPERTY FROM CALLE DE MEDANOS SHOWING WEST DRIVEWAY



PHOTO OF PROPERTY FROM CALLE DE MEDANOS SHOWING EAST DRIVEWAY



Doña Ana County, NM

General Reference Maps

2014 Aerial

Addresses

County Address Points

Select Search Type: Account Numbe Enter Value:

Maps

Legend

Map Themes

Parcels

UDC Zoning

Roads and Transportation

NM House Districts

NM Senate Districts

County Commission Districts

City Council Districts

Median Household Income

General Land Ownership

Account Number: [R0400293](#)

Parcel Number: 4006137214394

Owner: BOLAND LITTLE FAWN

Mail Address: 35 MADRONE PARK CIR

Subdivision:

Property Address: 2196 CALLE DE

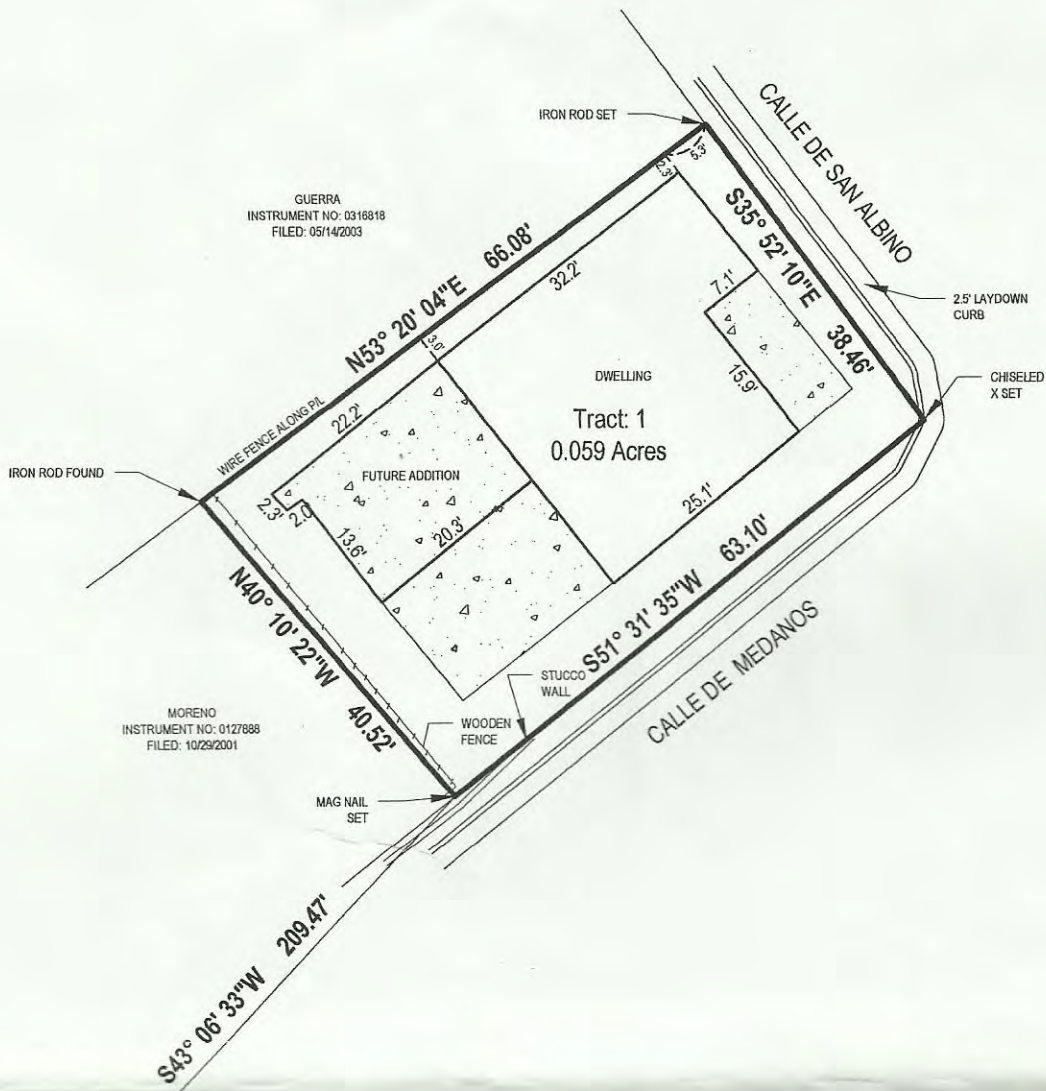
SAN ALBINO

Acres: 0



GUERRA
INSTRUMENT NO: 0316818
FILED: 05/14/2003

MORENO
INSTRUMENT NO: 0127888
FILED: 10/29/2001

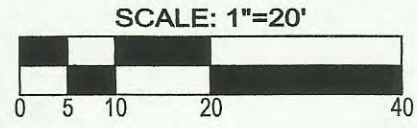


TIE TO AN IRON ROD FOUND AT THE SE INTERSECTION OF CALLE PRINCIPAL AND CALLE DE MEDANOS

NOTES:
FLOOD ZONE "X"; AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOOD PLAIN, AS PER MAP NO. 35013C1093 G, REVISED JULY 6, 2016.

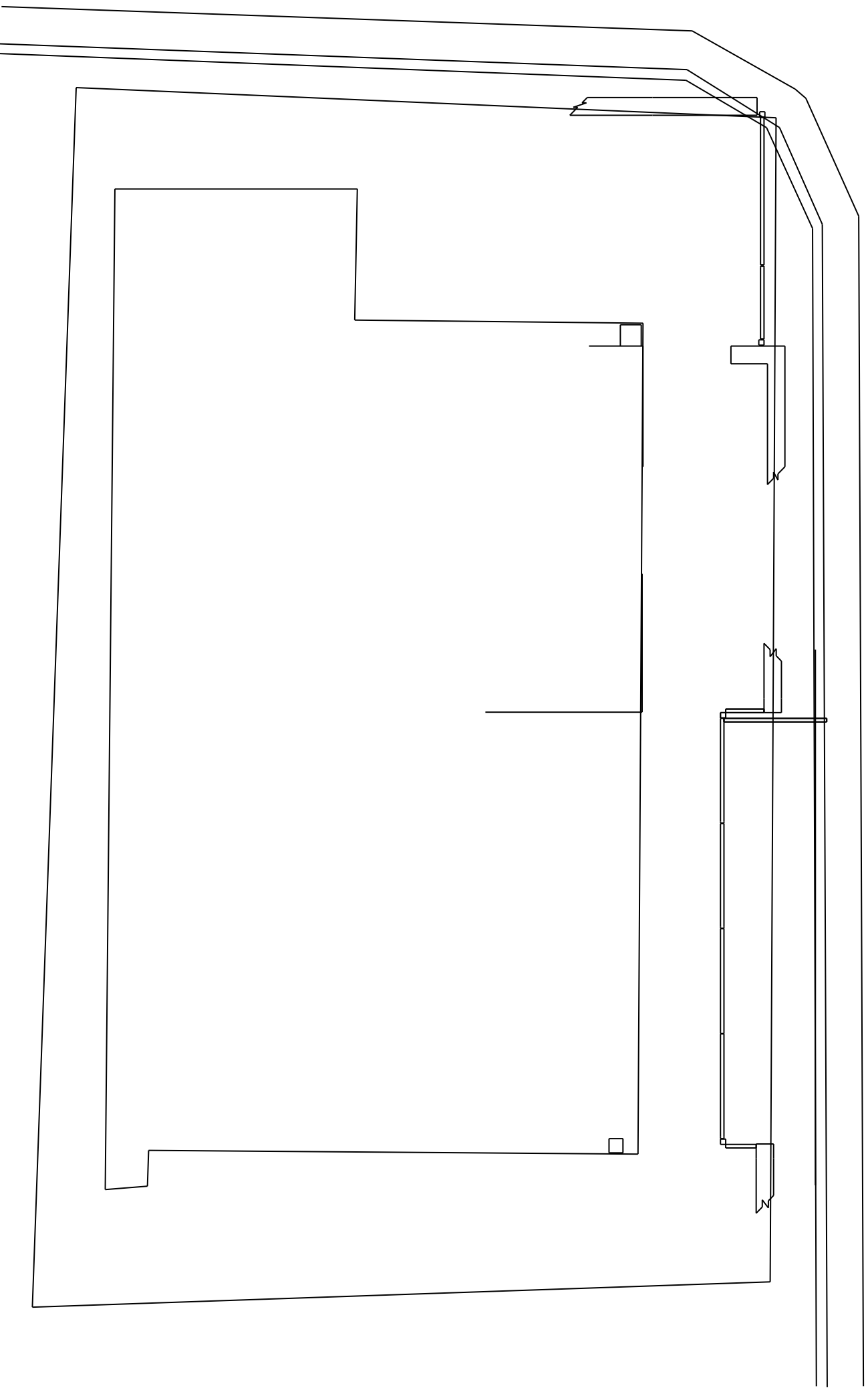
FIELD NOTES BY MOY SURVEYING INC., LICENSE #18078.
ALL CORNERS SET ARE 1/2" IRON RODS WITH 1" PLASTIC CAPS STAMPED #18078. ALL IRON RODS OR MONUMENTS FOUND, TAGGED, STAMPED #18078. UNLESS OTHERWISE NOTED DEED BEARINGS AND DISTANCES AND FIELD BEARING AND DISTANCES ARE THE SAME.

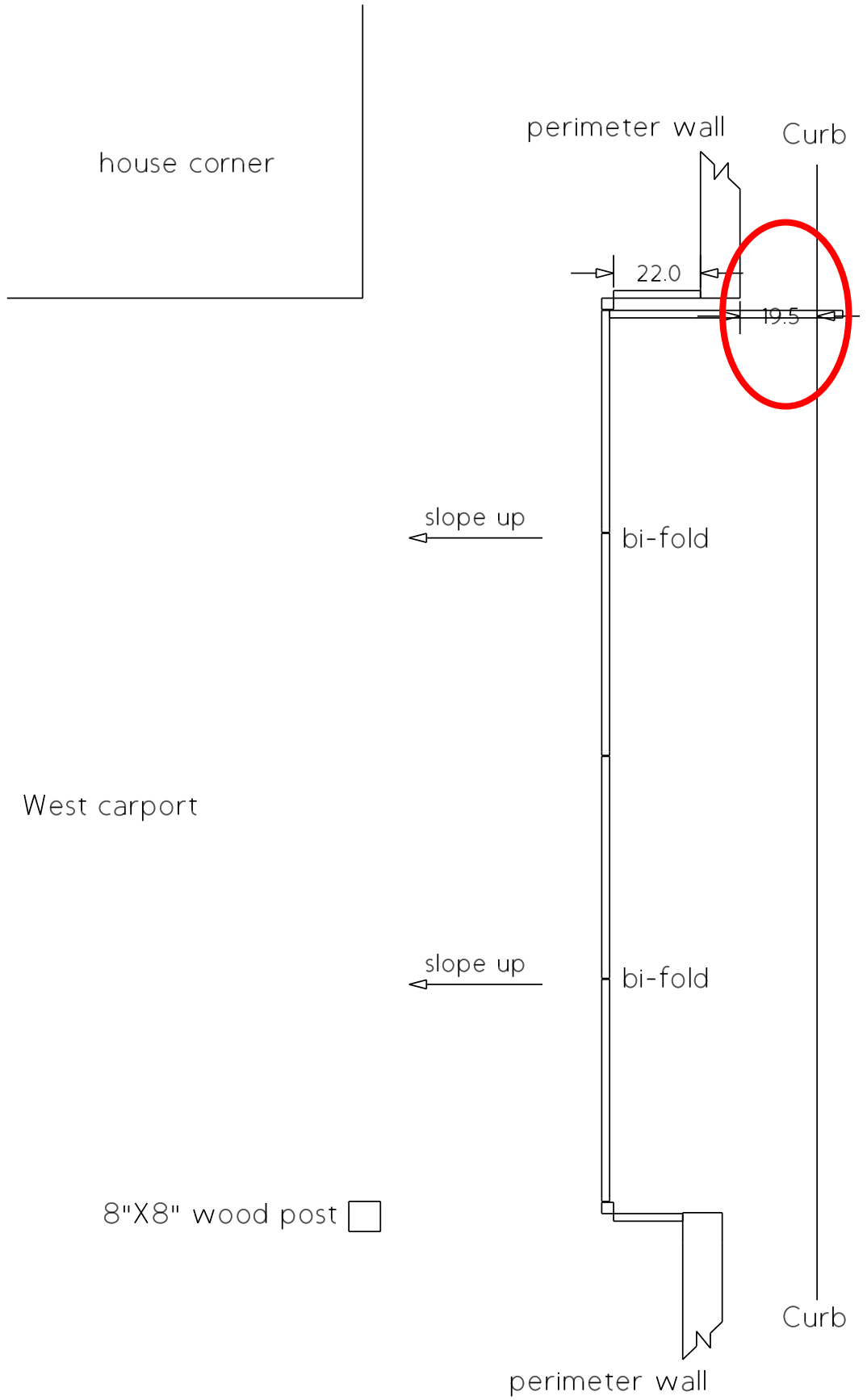
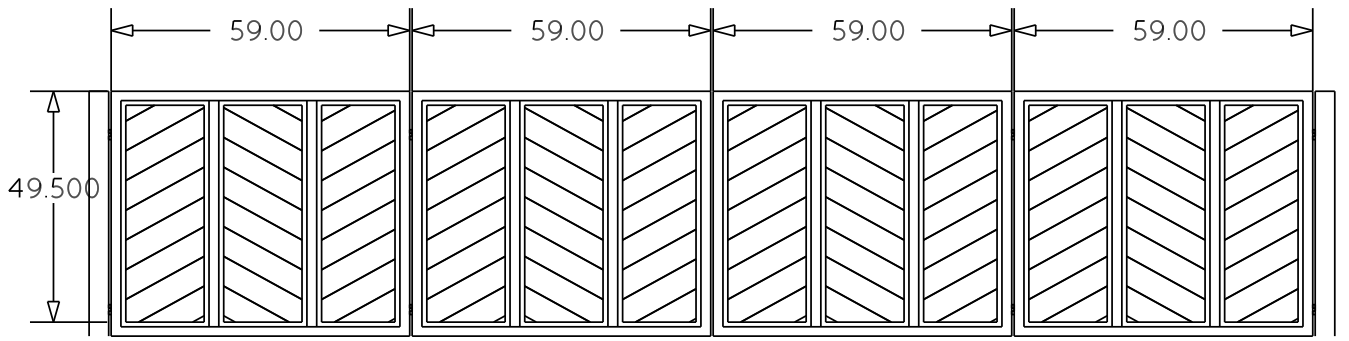
INFORMATION IN THE PREPARATION OF THIS PLAT DERIVES FROM REAL ESTATE CONTRACT FILED MARCH 19, 2012

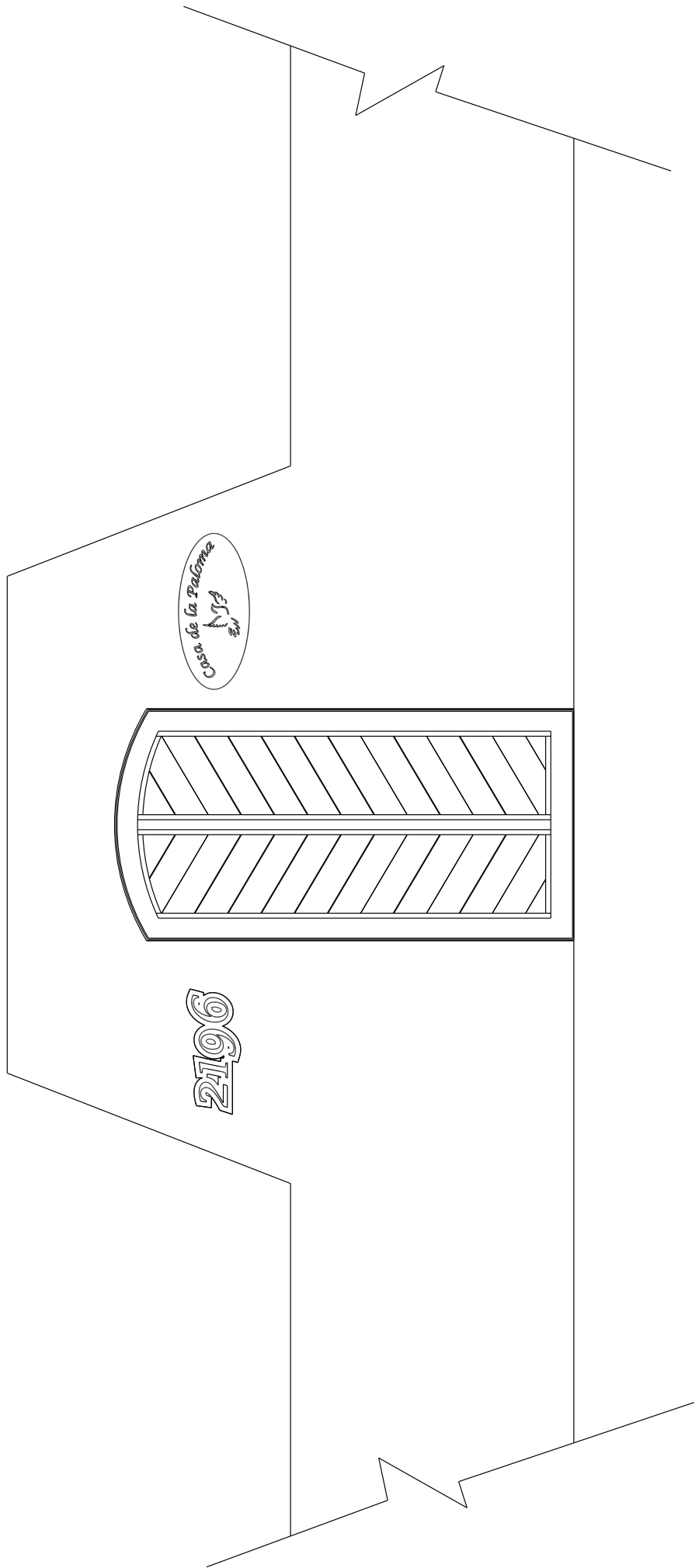


PROPERTY OWNER: BOLAND LITTLE FAWN
PROPERTY LOCATION: MESILLA
ACCOUNT NUMBER: 4006137214394
PARCEL NUMBER: PD400293

CALLE DE MEDANOS

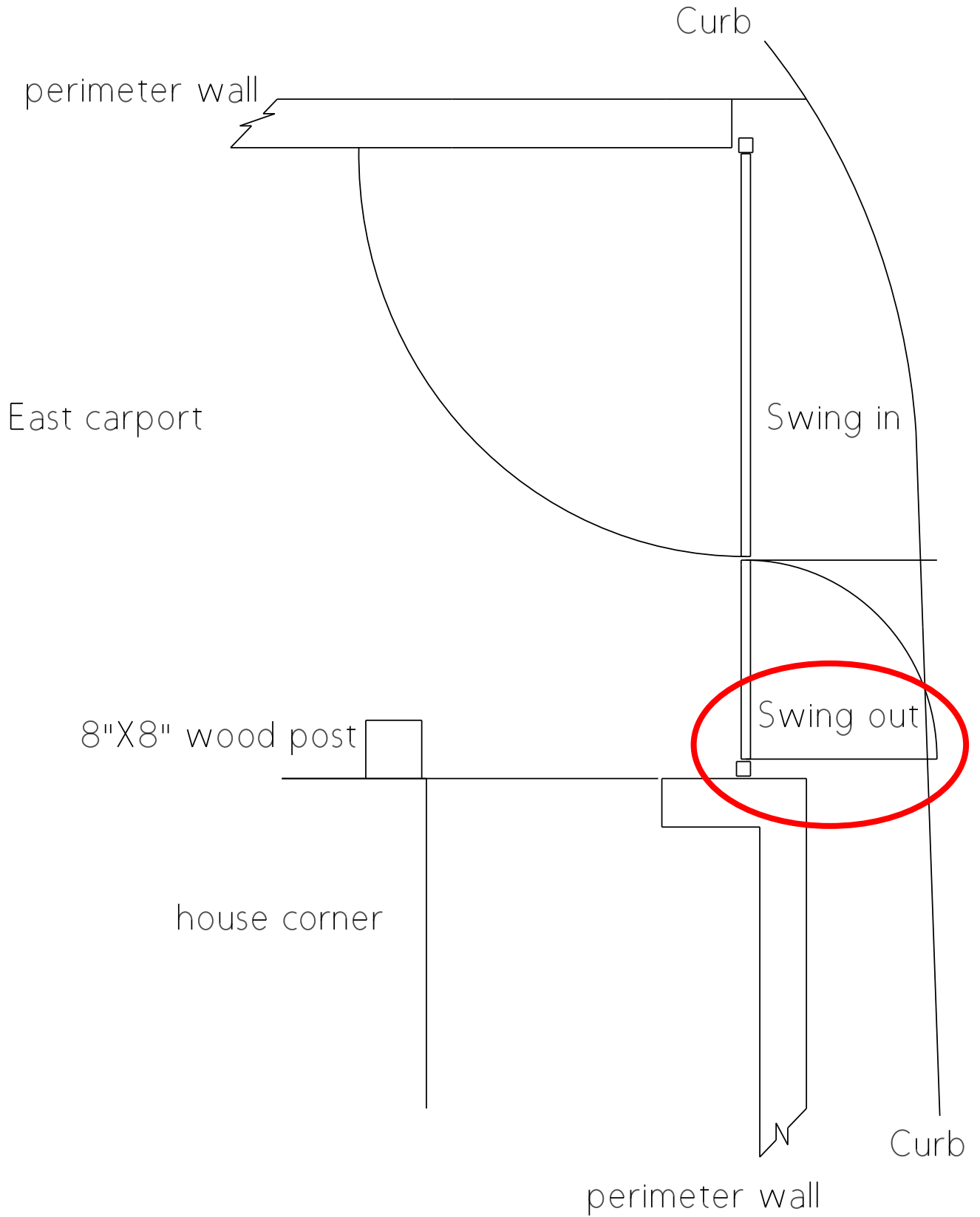
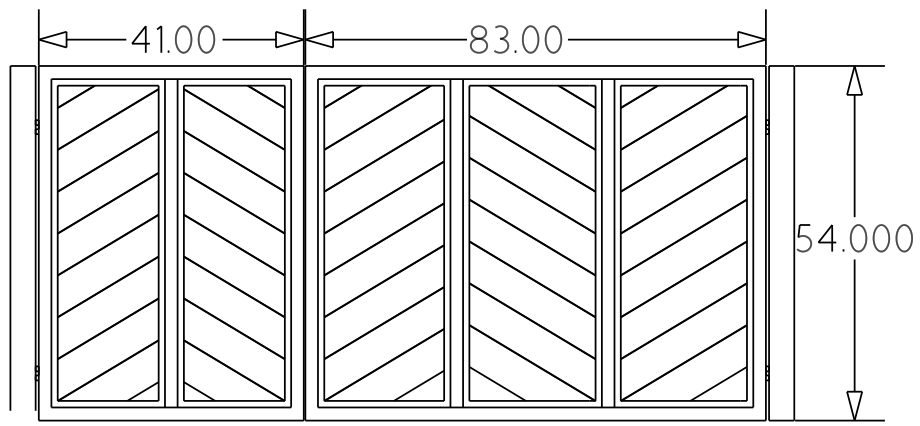






CASA de la PALOMA

2196



PZHAC MEETING

MINUTES

MARCH 4, 2019

(PART OF CONSENT AGENDA)



**PZHAC WORK SESSION
MINUTES
MARCH 4, 2019**

THE PLANNING, ZONING AND HISTORICAL APPROPRIATENESS COMMISSION (PZHAC) WILL HOLD A WORK SESSION, MONDAY, MARCH 4, 2019 AT 5:00 P.M. IN THE BOARD ROOM OF THE MESILLA TOWN HALL, 2231 AVENIDA DE MESILLA.

Item 1: Submitted by Ruben Contreras for Brittany Bloch (“Black Rat Tattoo”), a request to discuss plans to construct a small commercial building and a casita on a vacant property at the southwest corner of Calle de Correo and Avenida de Mesilla (address to be assigned). (Case **060848**) Zoned: Historical Commercial (HC)

The applicant and her architect were present to discuss the request and answer any questions that might arise. Staff provided a brief introduction of the case, stating that the case was originally heard at the March 4 PZHAC Work Session, and that the PZHAC had determined at the regular meeting that followed that the casita was allowed in the Historic Commercial zone “...subject to approval of the planning, zoning, and historical appropriateness commission upon application and approval of a development plan”. (The PZHAC considered the site plan and narrative to be a development plan.) The case was postponed, however, to allow the applicant to provide the PZHAC with more detailed elevations showing wood panels and the proposed colors of the structures. Mr. Contreras, representing the applicant, presented the new elevations showing the wood panels. There were no other changes to information presented at the last Work Session, and there were no further issues.

Item 2: Submitted by Daniel and Maxine Bustamantes, a request to discuss plans to construct a stuccoed concrete block wall on a residential property at 2590 Calle de Colon (Case **060850**) Zoned: Historical Residential (HR)

The applicants were present to discuss the request and answer any questions that might arise. Staff provided a brief introduction of the case, stating that although the main dwelling was in the Historic Register, there had been substantial changes made to the structure since the register was completed, including the addition of a casita and other major alterations that had been done to the structure in and prior to 2001; the original style of the structure had been substantially changed. As a result, the proposed wall would not be out of character with the existing dwelling. Discussion included whether the wall would be finished in the same style and color of the dwelling. There were no other issues.

Item 3: Submitted by Jorge Larrazabal; a request to discuss plans construct a 30 foot by 16 foot steel carport with a partially enclosed storage unit on a residential property at 2195 Calle del Norte. (Case **060852**) Zoned: Historical Residential (HR)

The applicant could not be present at this meeting. This item was removed from the agenda at the applicant’s request and no discussion took place.

Item 4: Submitted by Zach Penn; a request to discuss plans to construct a 75 foot by 50 foot metal and stucco storage building on a residential property at the north end of Cielo Grande Court (Lot 8). (Case **060855**) Zoned: Rural Farm (RF)

The applicant was present to discuss the request and answer any questions that might arise. Staff provided a brief introduction of the case, stating the fact that this property was the subject of a request permission to build a dwelling at the beginning of this year. (That request was approved by the PZHAC.) Staff explained that the applicant would like to build the storage structure on the same lot, and that the exterior would be finished to match the style of the dwelling.

Issues discussed were the size of the structure (there is no size limit set by the Code), setbacks, and the use of the structure. These were answered by the applicant and meet the requirements of the Code. There were no other issues.

**PZHAC REGULAR MEETING
MINUTES
MARCH 4, 2019**

THE PLANNING, ZONING AND HISTORICAL APPROPRIATENESS COMMISSION (PZHAC) WILL HOLD ITS REGULARLY SCHEDULED MEETING MONDAY, MARCH 4, 2019 AT 6:00 P.M. IN THE BOARD ROOM OF THE MESILLA TOWN HALL, 2231 AVENIDA DE MESILLA.

I. PLEDGE OF ALLEGIANCE

II. ROLL CALL AND DETERMINATION OF A QUORUM

Commissioner Lucero was absent. All other commissioners were present. A quorum was present.

III. CHANGES/APPROVAL OF THE AGENDA

Case 060852 was removed from the agenda at the request of the applicant. A motion to approve the agenda as amended was made by Commissioner Prieto, seconded by Commissioner Houston, and approved by a vote of 3 - 0.

IV. *ACCEPTANCE OF THE CONSENT AGENDA

Note: Items on the agenda indicated by an asterisk () are on the consent agenda and will be voted on with one motion unless a Commissioner requests that a specific item be removed for discussion.*

There were no changes to the Consent Agenda. A motion to approve the agenda as amended was made by Commissioner Prieto, seconded by Commissioner Houston, and approved by a vote of 3 - 0.

A. *PZHAC MINUTES – Meeting minutes of January 22, 2019.

Approved as part of the Consent Agenda

B. *ADMINISTRATIVE APPROVAL

Zoning Permits

- 1. Case 060851** – 217 Capri Road, submitted by Arlene and Matthew Watson; a request for a zoning permit to reroof a dwelling at this address. Zoned: Residential, Single Family (R-1)

Approved as part of the Consent Agenda

- 2. Case 060853** – 2043 Calle de Correo, submitted by Alison Tinsley; a request for a zoning permit to patch leaks in a roof at the back of dwelling at this address. Zoned: Historical Residential (HR)

Approved as part of the Consent Agenda

- 3. Case 060854** – 2825 Teresita Street, submitted by Larry and Michel Lytle; a request for a zoning permit to reroof a dwelling at this address. Zoned: Historical Residential (HR)

Approved as part of the Consent Agenda

- 4. Case 060857** – 2168 Calle de los Huertos, submitted by Geronimo Garcia; a request for a zoning permit to allow the repair of an adobe wall on the corner of a dwelling at this address. Zoned: Historical Residential (HR)

Approved as part of the Consent Agenda

V. PZHAC NEW BUSINESS:

A. PUBLIC INPUT ON CASES

B. CASES:

Zoning Permits

- 1. Case 060848** – Southwest corner of Calle de Correo and Avenida de Mesilla, submitted by Ruben Contreras for Brittany Bloch (“Black Rat Tattoo”), a request for a zoning permit to construct a small commercial building and a casita on a vacant property at this location. Zoned: Historical Commercial (HC)
This case was heard during the Work Session – Item 1)

Staff provided a brief review of this request, explaining that this case was heard during the Work Session. The PZHAC determined that the residential portion of the plans was allowed in the HC zone as part of an approved development plan as per Section 18.40.020 (Uses Permitted), and that there were no other issues with the proposed request. A motion was made by Commissioner Prieto to approve the request, seconded by Commissioner Houston, and approved by a vote of 3 - 0.

2. **Case 060850** – 2590 Calle de Colon, submitted by Daniel and Maxine Bustamantes; a request for a zoning permit to allow a stuccoed cinder block wall to be constructed at this address. Zoned: Historical Residential (HR) **(This case was heard during the Work Session – Item 2)**
Staff provided a brief review of this request, explaining that this case was heard during the Work Session. The PZHAC determined that there were no issues with the proposed request. A motion was made by Commissioner Prieto to approve the request, seconded by Commissioner Houston, and approved by a vote of 3 - 0.
3. **Case 060852** – 2195 Calle del Norte, submitted by Jorge Larrazabal; a request for a zoning permit to allow the construction of a 30 foot by 16 foot steel carport with a partially enclosed storage unit on this property. Zoned: Historical Residential (HR) **(This case was heard during the Work Session – Item 3)**
This case was removed from the agenda.
4. **Case 060855** - Cielo Grande Court (Lot 8), submitted by Zach Penn; a request for a zoning permit to allow the construction of a 75 foot by 50 foot metal and stucco storage building on a residential property at this location. Zoned: Rural Farm (RF) **(This case was heard during the Work Session – Item 4)**
Staff provided a brief review of this request, explaining that this case was heard during the Work Session. The PZHAC determined that there were no issues with the proposed request. A motion was made by Commissioner Prieto to approve the request, seconded by Commissioner Nevarez, and approved by a vote of 3 - 0.
5. **Case 060856** – 2755 Boldt Street, submitted by Daniel J Jones and Teresa Griffith; a request for a zoning permit to allow the repainting of the trim on a dwelling at this address. Zoned: Historical Residential (HR)
Staff provided a brief review of this request. The PZHAC determined that there were no issues with the proposed request. A motion was made by Commissioner Houston to approve the request, seconded by Commissioner Nevarez, and approved by a vote of 3 - 0.

Business Registrations

6. **Permit 0766** – 2305 Calle de Colon, submitted by Gerard Nevarez; a request for a business license to allow the applicant to operate a Human Resources (HR/EEO) consulting business (“JerryCo Services”) as a home occupation at this address. Zoned: Historical Residential (HR).
Staff provided a brief review of this request. The PZHAC determined that there were no issues with the proposed request. Commissioner Nevarez recused himself from voting since he was the applicant. Commission Chair Hernandez voted in his place to provide for a quorum. Commissioner Houston made a motion to approve the request, seconded by Commissioner Prieto, and approved by a vote of 3 - 0.

VI. PUBLIC COMMENTS - None

VII. PZHAC/STAFF COMMENTS

Staff informed the PZHAC that the New Mexico League of Zoning Officials (NMLZO) would be holding a training session for Planning Commissioners at its semi-annual meeting on May 1-3, 2019 and invited the PZHAC to attend. Staff will forward information about the meeting as soon as it is available.

VIII. ADJOURNMENT – The meeting was adjourned at 7:18 pm.

NOTICE

If you need an accommodation for a disability to enable you to fully participate in the hearing or meeting, please contact us at 524-3262 at least 48 hours prior to the meeting.

Posted on 2/28/19 at the following locations: Town Hall - 2231 Avenida de Mesilla; Public Safety Building - 2670 Calle de Parian; Mesilla Community Center - 2251 Calle de Santiago; Shorty's Food Mart - 2290 Avenida de Mesilla; Ristramn Chile Co. - 2531 Avenida de Mesilla and the U.S. Post Office - 2253 Calle de Parian.

PZHAC NEW BUSINESS

MARCH 18, 2019

ADMINISTRATIVE APPROVALS

(PART OF CONSENT AGENDA)

**ADMINISTRATIVE APPROVAL
BUILDING PERMIT REQUEST CASE 060860
[PZHAC CONSENT AGENDA –3/18/2019]**

Item:

Case 060860 – 2090 Snow Road, submitted by Main Electrical for John Knopp; a request for a zoning permit to allow the electric system for a dwelling at this address to be upgraded to allow installation of a heat exchanger.. Zoned: Residential Farming (RF)

Description of Work Done:

The applicant will upgrade the electrical system on a dwelling at this address in order to install a 5 ton heat pump unit on the dwelling. (The applicant has been informed that a permit and inspections from CID will also be necessary.) This is change to the electrical service and heating/cooling system only, and will not affect the appearance of the dwelling.

Consistency with the Code:

Since this is a repair that will not affect or change the appearance of the structure, according to the applicant; and since the work will not consist of any additions or changes to heated/cooled areas of the structure, the permit may be approved administratively. [(15.15.030(B) - **Application for building permit, Administrative Approval**).**Administrative Approval Permit –“Applications that are minor repairs or maintenance and do not alter or create additions to structures (buildings), walls or any other permanent fixtures on site may be approved administratively by staff.... Once all required information is provided, the community development staff may approve and issue the permit.”**]

PHOTO OF SUBJECT DWELLING FROM SNOW ROAD



Doña Ana County, NM

General Reference Maps

2014 Aerial

Addresses

County Address Points

Select Search Type:

Maps

Legend

Map Themes

Parcels

UDC Zoning

Roads and Transportation

NM House Districts

NM Senate Districts

County Commission Districts

City Council Districts

Median Household Income

General Land Ownership

Account Number: [R0401145](#)

Parcel Number: 4005137090528

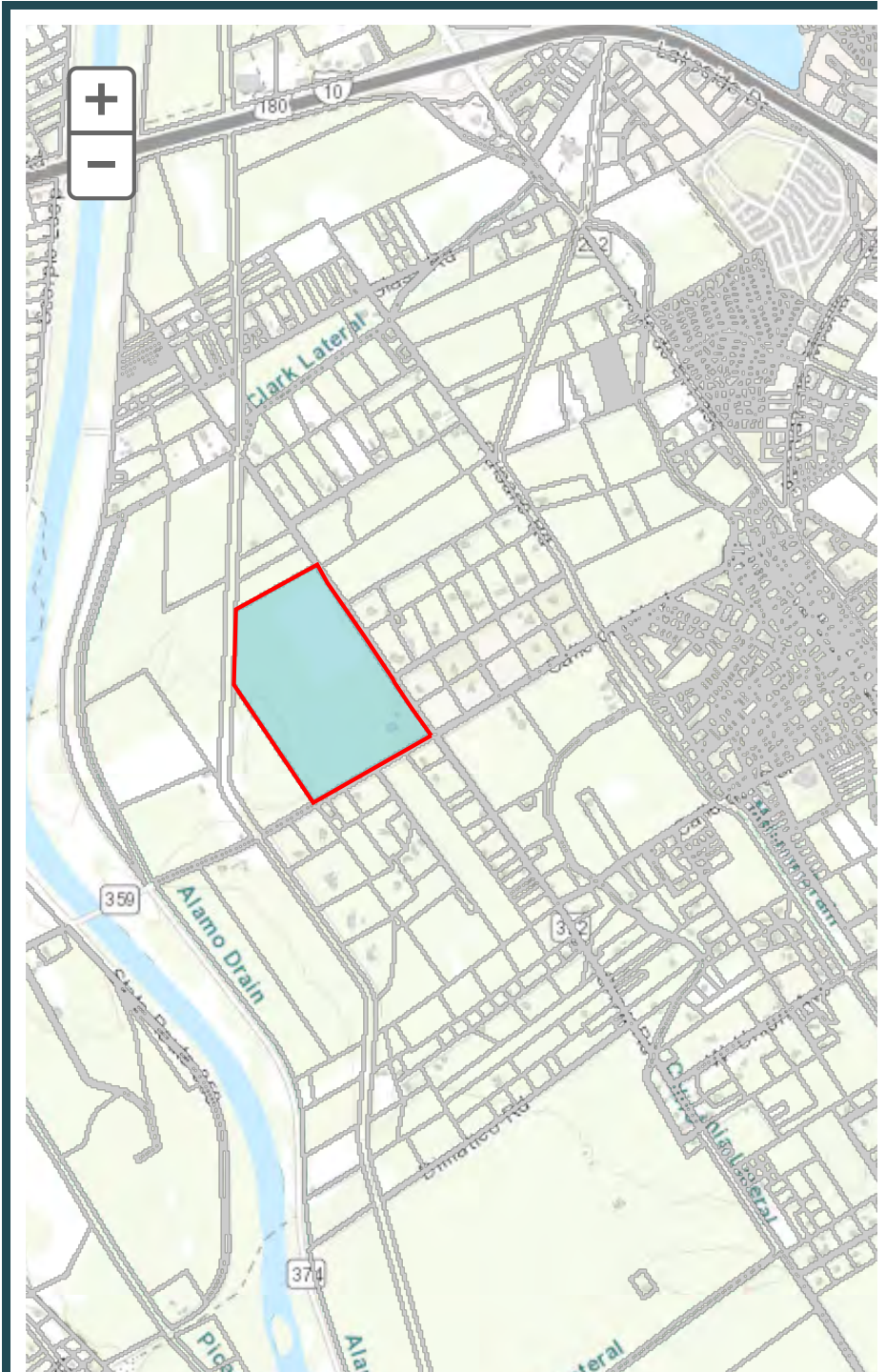
Owner: GINTHER FARMS

Mail Address: PO BOX 45

Subdivision:

Property Address: SNOW RD

Acres: 102.09999847



TOWN OF MESILLA
PERMISSION TO CONDUCT WORK
OR

OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT

OFFICIAL USE ONLY:

Case # 060860

Fee \$ 1640

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 060860 ZONE: R5 CODE: M1 APPLICATION DATE: 3/6/19

Name of Applicant/Owner: Richard Knopp Applicant's Telephone Number: 915 253 1661

Applicant's Mailing Address: 2090 Snow Rd Mesilla NM 88005
City: MESILLA State: NM Zip Code: 88005

Applicant's/Owner's E-mail Address: herctor.rosales1@hotmail.com

Contractor's Name & Address (If none, indicate Self): MAIN ELECTRIC 621 MESILLA VIEW DR

Contractor's Telephone Number: 915 487-8023 Contractor's Tax ID Number: _____ Contractor's License Number: 380904

Address of Proposed Work: 2090 Snow Rd Mesilla NM

Description of Proposed Work: 100-200 AMP SERVICE UPGRADE
5-TON HEAT PUMP UNIT INSTALL

Estimated Cost: \$ 1300 Signature of Applicant: [Signature] Date: 03-06-19

Signature of property owner if applicant is not the property owner: _____

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and BOT before issuance of a building permit. Recorded proof of ownership with legal description of property (deed or current tax bill) along with verification of legally subdivided status of the property are required. **Plan sheets are to be no larger than 11 x 17 inches.**

FOR OFFICIAL USE ONLY

PZHAC Administrative Approval BOT Approved Date: _____
 Approved Date: _____ Disapproved Date: _____
 Disapproved Date: _____ Approved with Conditions
 Approved with conditions

FIRE INSPECTION/APPROVAL REQUIRED: ___ YES NO ___ SEE CONDITIONS

CID PERMIT/INSPECTION REQUIRED: YES ___ NO ___ SEE CONDITIONS

CONDITIONS: NO CHANGES TO STRUCTURE, CID PERMIT REQ'D

PERMISSION ISSUED/DENIED BY: [Signature] ISSUE DATE: 3/6/19

- This Application will include the following, if checked:
- Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was **legally** subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
 - Site Plan with dimensions and details.
 - Proof of legal access to the property.
 - Drainage plan.
 - Architectural style and color scheme – diagrams or elevations (Historical and commercial zones only).
 - Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
 - Other information as necessary or required by the City Code or Community Development:

PZHAC NEW BUSINESS

MARCH 18, 2019

PZHAC DECISIONS

WORK SESSION ITEMS

PZHAC ACTION FORM
HISTORICAL APPROPRIATENESS
[PZHAC REVIEW – 3/18/2019]
STAFF ANALYSIS

(Decision to be based on information presented during the Work Session – Item 1)

Item:

Determination by the PZHAC as to the Historical Appropriateness of the dwelling proposed for the property at the southwest corner of Calle de Colon and Calle Tercera (address to be assigned). Zoned: Historical Residential (HR)

Staff Analysis:

The proposed work was discussed in the PZHAC Work Session held prior to this meeting. (Please refer to the information provided in the write-up for this item in the Work Session.)

If it is determined that the proposed dwelling will be acceptable for the property or the Town, or if an alternate solution is arrived at, then the request can proceed on the assumption that all requirements of the Code will be satisfied. The applicant should then submit a zoning request to the PZHAC based on the design of the dwelling approved at this Work Session.

If, on the other hand, it is determined that the proposed dwelling will not be acceptable to the property or the Town, and no other solution can be reached, then the PZHAC should either postpone the request further until the applicant can return with a proposal that meets the standards set forth by the PZHAC. The applicant will then need to return with a design that meets the requirements set forth by the PZHAC.

Estimated Cost: TBD

Consistency with the Code:

The PZHAC will need to determine that the proposed dwelling will be consistent with the zoning requirements for this property. Additionally, the PZHAC will also need to design is consistent with the all other sections of the **Building and Zoning Codes** that may be applied to this project.

Findings:

- The PZHAC has jurisdiction to review and approve this request.
- The proposed dwelling is compatible with the development zone for the property.
- The PZHAC has determined that the proposed work will meet all applicable Code requirements.

PZHAC OPTIONS:

1. Approve the design as being Historically Appropriate for the area.
2. Approve the design with changes approved by the PZHAC.
3. Reject the design

PZHAC ACTION:

PZHAC NEW BUSINESS

MARCH 18, 2019

PZHAC DECISIONS

ZONING PERMITS

PZHAC ACTION FORM
ZONING PERMIT 060852
[PZHAC REVIEW – 3/18/2019]
STAFF ANALYSIS

(Decision to be based on information presented during the Work Session – Item 2)

Item:

Case 060852 – 2195 Calle del Norte, submitted by Jorge Larrazabal; a request for a zoning permit to allow the construction of a 30 foot by 16 foot steel carport with a partially enclosed storage unit on this property. Zoned: Historical Residential (HR)

Staff Analysis:

The proposed request was discussed in the PZHAC Work Session held prior to this meeting. (Please refer to the information provided in the write-up for this item in the Work Session.)

If it is determined that the proposed carport and storage structure will be acceptable for the zoning of the property, or if an alternate solution is arrived at, then the request can proceed on the assumption that all requirements of the Code will be satisfied. The PZHAC should continue on to approve the request based on the Findings stated below.

If, on the other hand, it is determined that the proposed carport and storage structure will not be acceptable to the zoning of the property, and no other solution can be reached, then the PZHAC should either postpone the request further until the applicant can return with a proposal that meets the standards set forth by the PZHAC; or the PZHAC should deny the request based on the request not meeting any or all of the Findings as listed.

Estimated Cost: @ \$8000.00

Consistency with the Code:

The PZHAC will need to determine that the proposed carport and storage structure will be consistent with the zoning requirements for this property. Additionally, the PZHAC will also need to determine that the request, as submitted, is consistent with the all other sections of the **Building and Zoning Codes** that may be applied to this project.

Findings:

- The PZHAC has jurisdiction to review and approve this request.
- The proposed work consists of installation of a s carport and storage structure on a residential property at 2195 Calle del Norte
- The PZHAC has determined that the proposed work meets all applicable Code requirements.

PZHAC OPTIONS:

1. Recommend approval of the requested zoning permit to the BOT.
2. Recommend approval of the requested zoning permit with conditions to the BOT.
3. Reject the permit.

PZHAC ACTION:

PZHAC ACTION FORM
ZONING PERMIT 0608AA
[PZHAC REVIEW – 3/18/2019]
STAFF ANALYSIS

(Decision to be based on information presented during the Work Session – Item 3)

Item:

Case 0608AA – 1000 West University Avenue, submitted by Catherine Martinez and Linda Montoya; a request for a zoning permit to replace a metal wire fence around the residential property at this address. Zoned: Rural Farm (RF)

Staff Analysis:

The proposed work was discussed in the PZHAC Work Session held prior to this meeting. (Please refer to the information provided in the write-up for this item in the Work Session.)

If it is determined that the proposed fence will be acceptable for the property and the Town, or if an alternate solution is arrived at, then the request can proceed on the assumption that all requirements of the Code will be satisfied. The PZHAC should continue on to approve the request based on the Findings stated below.

If, on the other hand, it is determined that the proposed fence will not be acceptable to the property or the Town, and no other solution can be reached, then the PZHAC should either postpone the request further until the applicant can return with a proposal that meets the standards set forth by the PZHAC; or the PZHAC should deny the request based on the request not meeting any or all of the Findings as listed.

Estimated Cost: @ \$6000.00

Consistency with the Code:

The PZHAC will need to determine that the proposed fence will be consistent with the zoning requirements for this property. Additionally, the PZHAC will also need to determine that the request, as submitted, is consistent with the all other sections of the **Building and Zoning Codes** that may be applied to this project.

Findings:

- The PZHAC has jurisdiction to review and approve this request.
- The proposed work consists of replacing a wire fence around a residential property at 1000 West University Drive.
- The PZHAC has determined that the proposed work will meet all applicable Code requirements.

PZHAC OPTIONS:

1. Recommend approval of the requested zoning permit to the BOT.
2. Recommend approval of the requested zoning permit to the BOT with conditions.
3. Reject the permit.

PZHAC ACTION:

PZHAC ACTION FORM
ZONING PERMIT 0608BB
[PZHAC REVIEW – 3/18/2019]
STAFF ANALYSIS

(Decision to be based on information presented during the Work Session – Item 4)

Item:

Case 0608BB – 2206 Avenida de Mesilla, submitted by Jake Quinones of Quinones Design/Build for Emilie Cano; a request for a zoning permit to allow the repair the adobe walls and roof on a dwelling at 2206 Avenida de Mesilla. Zoned: Historical Commercial (HC)

Staff Analysis:

The proposed request was discussed in the PZHAC Work Session held prior to this meeting. (Please refer to the information provided in the write-up for this item in the Work Session.)

If it is determined that the proposed repairs will be acceptable for the zoning of the property, or if an alternate solution is arrived at, then the request can proceed on the assumption that all requirements of the Code will be satisfied. The PZHAC should continue on to approve the request based on the Findings stated below.

If, on the other hand, it is determined that the proposed repairs will not be acceptable to the zoning of the property, and no other solution can be reached, then the PZHAC should either postpone the request further until the applicant can return with a proposal that meets the standards set forth by the PZHAC; or the PZHAC should deny the request based on the request not meeting any or all of the Findings as listed.

Estimated Cost: @ \$6000.00

Consistency with the Code:

The PZHAC will need to determine that the proposed repairs will be consistent with the zoning requirements for this property. Additionally, the PZHAC will also need to determine that the request, as submitted, is consistent with the all other sections of the **Building and Zoning Codes** that may be applied to this project.

Findings:

- The PZHAC has jurisdiction to review and approve this request.
- The proposed work consists of repairing the adobe walls and roof of a dwelling at 2206 Avenida de Mesilla.
- The PZHAC has determined that the proposed work meets all applicable Code requirements.

PZHAC OPTIONS:

1. Recommend approval of the requested zoning permit to the BOT.
2. Recommend approval of the requested zoning permit with conditions to the BOT.
3. Reject the permit.

PZHAC ACTION:

PZHAC ACTION FORM
ZONING PERMIT 060656
[PZHAC REVIEW – 3/18/2019]
STAFF ANALYSIS

(Decision to be based on information presented during the Work Session – Item 5)

Item:

Case 060653 – 2196 Calle de Medanos, submitted by Conrad Estrada of Images N’Iron for Little Fawn Boland; a request to modify an approved zoning permit to allow the installation of gates on the front wall of a dwelling at this address. Zoned: Historical Residential (HR)

Staff Analysis:

The proposed request was discussed in the PZHAC Work Session held prior to this meeting. (Please refer to the information provided in the write-up for this item in the Work Session.)

If it is determined that the proposed gates will be acceptable for the zoning of the property, or if an alternate solution is arrived at, then the request can proceed on the assumption that all requirements of the Code will be satisfied. The PZHAC should continue on to approve the request based on the Findings stated below.

If, on the other hand, it is determined that the proposed gates will not be acceptable to the zoning of the property, and no other solution can be reached, then the PZHAC should either postpone the request further until the applicant can return with a proposal that meets the standards set forth by the PZHAC; or the PZHAC should deny the request based on the request not meeting any or all of the Findings as listed.

Estimated Cost: TBD

Consistency with the Code:

The PZHAC will need to determine that the proposed gates will be consistent with the zoning requirements for this property. Additionally, the PZHAC will also need to determine that the request, as submitted, is consistent with the all other sections of the **Building and Zoning Codes** that may be applied to this project.

Findings:

- The PZHAC has jurisdiction to review and approve this request.
- The proposed work consists of installation of gates on a in a wall on a residential property at 2196 Calle de Medanos.
- The PZHAC has determined that the proposed work meets all applicable Code requirements.

PZHAC OPTIONS:

1. Recommend approval of the requested zoning permit to the BOT.
2. Recommend approval of the requested zoning permit with conditions to the BOT.
3. Reject the permit.

PZHAC ACTION:

PZHAC ACTION FORM
BUILDING PERMIT 060863
[PZHAC REVIEW – 3/19/2019]
STAFF ANALYSIS

Case 060863 – 2417 & 2419 Calle de Parian, submitted by Davie and Kelly Salas; a request for a zoning permit to allow the construction of short latia privacy fences on patios attached to the two dwellings at the rear of these properties. Zoned: Historical Residential (HR)

Staff Analysis:

The applicant would like to install three small latia fences around porches on two of the dwellings at these addresses (see circled areas on the attached site plan) to provide privacy to the porches. The style of the fences will be similar to, but shorter, the latia fence at the front of the dwelling at 2219 Calle de Parian (see attached photo). According to the applicant, the fences will be less than six feet in height, and will be made of latias on wood or metal uprights. The fences will be constructed to maintain a uniform appearance with the other fences at the front of the properties.

Estimated Cost: @ \$400.00

Consistency with the Code:

The PZHAC will need to determine that the proposed fences will be consistent with the development of properties in the HR district. Additionally, the request appears to meet all other development and application requirements of the Code.

The PZHAC will also need to determine that the request, as submitted, is consistent with the all other sections of the **Building and Zoning Codes** that may be applied to this project.

Findings:

- The PZHAC has jurisdiction to review and approve this request.
- The proposed work consists of installing three small latia fences on the properties for privacy.
- The PZHAC has determined that the proposed changes meet the Code.

PZHAC OPTIONS:

1. Recommend approval of the fences to the BOT.
2. Recommend approval of the fences to the BOT with conditions.
3. Reject the permit.

PZHAC ACTION:

PHOTO OF PROPERTIES



PHOTO OF FENCE AT FRONT OF 2219 CALLE DE PARIAN



Doña Ana County, NM

General Reference Maps

2014 Aerial

Addresses

County Address Points

Select Search Type:

Maps

Legend

Map Themes

Parcels

UDC Zoning

Roads and Transportation

NM House Districts

NM Senate Districts

County Commission Districts

City Council Districts

Median Household Income

General Land Ownership

Account Number: [R0400502](#)

Parcel Number: 4006138157034

Owner: SALAS DAVIE C

Mail Address: P.O. BOX 615

Subdivision:

Property Address: 2419 CALLE DE

PARIAN

Acres: 0



Doña Ana County, NM

General Reference Maps

2014 Aerial

Addresses

County Address Points

Select Search Type:

Maps

Legend

Map Themes

Parcels

UDC Zoning

Roads and Transportation

NM House Districts

NM Senate Districts

County Commission Districts

City Council Districts

Median Household Income

General Land Ownership

Account Number: [R0400499](#)

Parcel Number: 4006138152039

Owner: QUESADA MARTHA

Mail Address: PO BOX 72

Subdivision:

Property Address: 2421 CALLE DE

PARIAN

Acres: 0



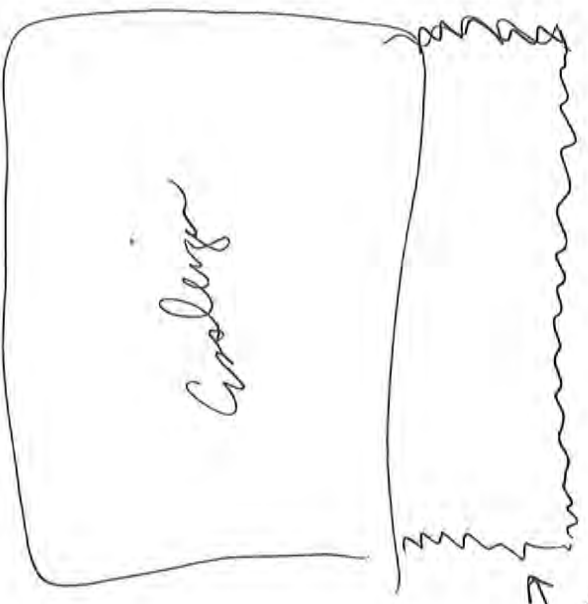
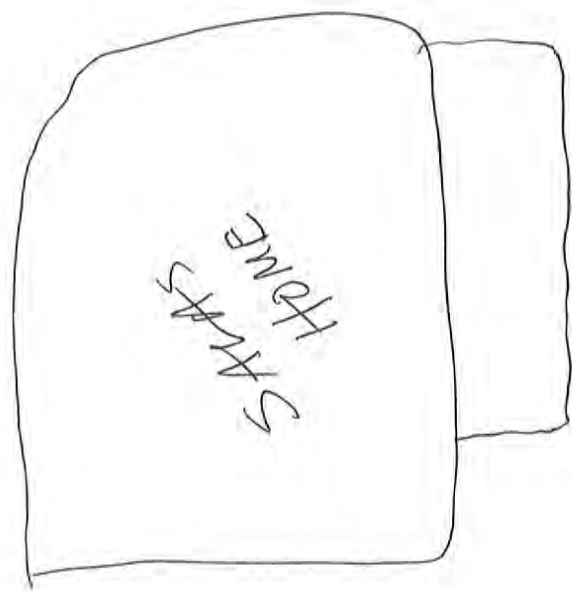
latia fence on southern west face, and east of concrete patio for privacy



Want to put latia fence on just north face of patio for privacy



Want to put latia fence on south, north and east faces of concrete patio



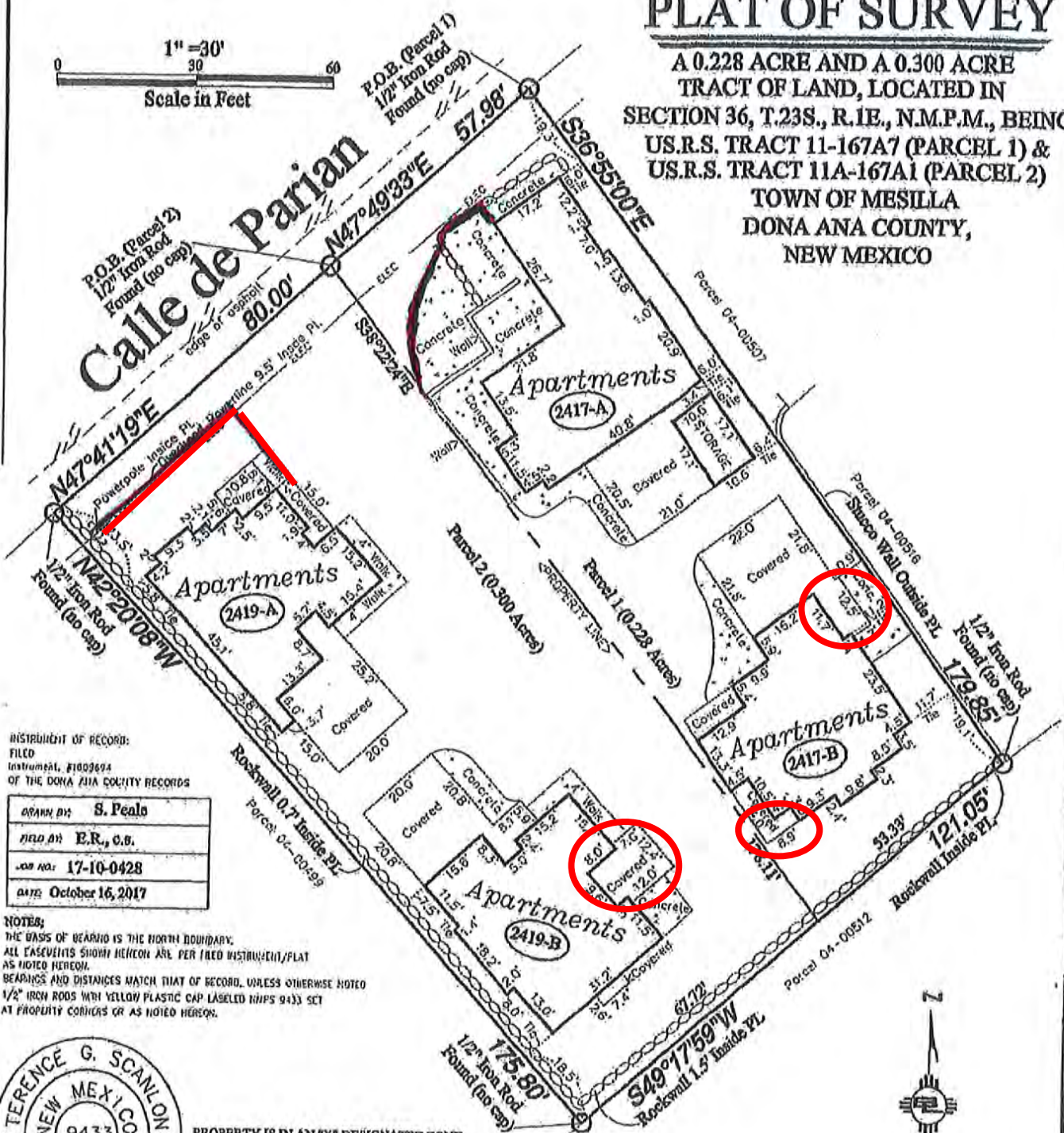
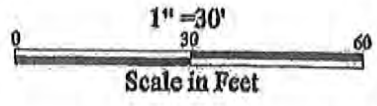
Latia fence

existing for visual of same format for back units.

Davie Kelly Sales
575-650-3362 or 575-650-0283

PLAT OF SURVEY

A 0.228 ACRE AND A 0.300 ACRE TRACT OF LAND, LOCATED IN SECTION 36, T.23S., R.1E., N.M.P.M., BEING US.R.S. TRACT 11-167A7 (PARCEL 1) & US.R.S. TRACT 11A-167A1 (PARCEL 2) TOWN OF MESILLA DONA ANA COUNTY, NEW MEXICO



DISTRIBUTION OF RECORD:
FILED
INSTRUMENT #1003694
OF THE DONA ANA COUNTY RECORDS

| | |
|--------------|------------------|
| APPROVED BY: | S. Pealo |
| FIELD BY: | E.R., C.S. |
| JOB NO.: | 17-10-0428 |
| DATE: | October 16, 2017 |

NOTES:
THE BASIS OF BEARING IS THE NORTH BOUNDARY.
ALL CASEMENTS SHOWN HEREON ARE PER FIELD INSTRUMENT/PLAT AS NOTED HEREON.
BEARINGS AND DISTANCES MATCH THAT OF RECORD, UNLESS OTHERWISE NOTED
1/2" IRON RODS WITH YELLOW PLASTIC CAP LABELED (NIPS 9433) SET AT PROPERTY CORNERS OR AS NOTED HEREON.



PROPERTY IS IN AN "X" DESIGNATED ZONE, AS SHOWN ON THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 35013C1093 G, EFFECTIVE JULY 6, 2016

SURVEYOR'S CERTIFICATE

THIS IS TO CERTIFY THAT I AM A REGISTERED LAND SURVEYOR, THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MADE BY ME OR UNDER MY DIRECTION AND THAT IT IS TRUE AND CORRECT, MEETING THE MINIMUM REQUIREMENTS OF THE STANDARDS FOR LAND SURVEYS IN NEW MEXICO AS ADOPTED BY THE NEW MEXICO STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS, TO THE BEST OF MY KNOWLEDGE AND BELIEF.

October 16, 2017
DATE OF SURVEY

[Signature]
TED G. SCANLON - PS NO. 9433
2990 N. MAIN STREET, STE. 3C, LAS CRUCES, NEW MEXICO 88001

BORDERLANDS ENGINEERS AND SURVEYORS LLC.
2990 N. MAIN STREET, STE. 3C
LAS CRUCES, NEW MEXICO 88001
PHONE (505) 322-1443
FAX (505) 322-2239



TOWN OF MESILLA
 PERMISSION TO CONDUCT WORK
 OR

OBTAIN A COMMERCIAL/RESIDENTIAL BUILDING PERMIT

OFFICIAL USE ONLY:

Case # 060863

Fee \$ 45.00

2231 Avenida de Mesilla, P.O. Box 10, Mesilla, NM 88046 (575) 524-3262 ext. 104

CASE NO. 060863 ZONE: HR CODE: M1 APPLICATION DATE: 3/12/10

Name of Applicant/Owner: Kelly & Davie Salas Applicant's Telephone Number: 575-650-3362

Applicant's/Owner's Mailing Address: P.O. Box 615 Mesilla NM 88046
 City State Zip Code

Applicant's/Owner's E-mail Address: daviesalasa@comcast.net

Contractor's Name & Address (If none, indicate Self): self

Contractor's Telephone Number: same as above Contractor's Tax ID Number: _____ Contractor's License Number: _____

Address of Proposed Work: 2417-B & 2419-B Calle de Parian, Mesilla

Description of Proposed Work: Small section of latia fence attached to house/beam on top of concrete patio on east side of house (2417-B) and (2419-B) - not fully enclosing - only to create some privacy. Similar to fence at 2419-B Calle Parian - but smaller amount.

Estimated Cost: \$ 300-400 Signature of Applicant: [Signature] Date: 2-20-2010

Signature of property owner if applicant is not the property owner: _____

With the exception of administrative approvals, all permit requests must undergo a review process from staff, PZHAC and BOT before issuance of a building permit. Recorded proof of ownership with legal description of property (deed or current tax bill) along with verification of legally subdivided status of the property are required. **Plan sheets are to be no larger than 11 x 17 inches.**

FOR OFFICIAL USE ONLY

PZHAC Administrative Approval Approved Date: _____
 Approved Date: _____ Disapproved Date: _____
 Disapproved Date: _____ Approved with Conditions
 Approved with conditions

FIRE INSPECTION/APPROVAL REQUIRED: ___ YES NO ___ SEE CONDITIONS

CID PERMIT/INSPECTION REQUIRED: ___ YES NO ___ SEE CONDITIONS

CONDITIONS: PZHAC REVIEW & BOT FINAL APPROVAL REQUIRED

PERMISSION ISSUED/DENIED BY: _____ ISSUE DATE: _____

- This Application will include the following, if checked:
- Plot plan with legal description to show existing structures, adjoining streets, driveway(s), improvements & setbacks. Verification shall show that the lot was legally subdivided through the Town of Mesilla or that the lot has been in existence prior to February 1972.
 - Site Plan with dimensions and details.
 - Proof of legal access to the property.
 - Drainage plan.
 - Architectural style and color scheme – diagrams or elevations (Historical and commercial zones only).
 - Proof of sewer service or a copy of septic tank permit; proof of water service (well permit or statement from the Public Utility providing water services).
 - Other information as necessary or required by the City Code or Community Development: